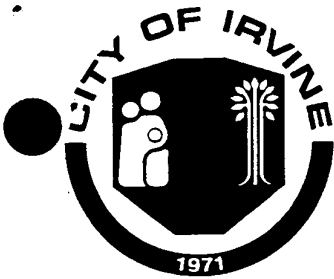


NOP Responses

002016



Community Development Department

City of Irvine, One Civic Center Plaza, P.O. Box 19575, Irvine, California 92713 (714) 724-6000

July 3, 1996

Mr. Paul Lanning
Environmental Management Agency
Environmental and Project Planning Division
P.O. Box 4048
Santa Ana, CA 92702-4048

SUBJECT: NOTICE OF PREPARATION FOR EXPANSION OF JAMES A. MUSICK
JAIL

Dear Mr. Lanning:

Thank you for the opportunity to comment on the NOP for the proposed Musick Jail expansion. As you know, the project site is located within the City of Irvine's sphere of influence. Due to this consideration, as well as economic, public safety and environmental concerns, the City of Irvine is strongly interested in active participation in each step of the planning and environmental process for this project.

Our comments on the NOP are as follows:

Transportation/Circulation

- The traffic study for the project should address all existing and planned arterials that will be impacted by the project, including Alton Parkway, Bake Parkway, Irvine Boulevard and Portola Parkway. As a project-level EIR, intersection impacts should also be analyzed. Since the project is located within Irvine's sphere of influence, the City's Traffic Study Guidelines should be utilized to guide the analysis and to define criteria for significant impact.
- Page 11 of the NOP refers to "...an additional 400-500 beds dedicated for medical housing..." If this facility is intended to be used for prisoners from sites outside the proposed project, the trip rates for the traffic study should include this assumption.
- The project is proposed to be developed in three phases. Please provide anticipated years for each of the phases, and the corresponding roadway improvements that are assumed to be in place.

002017

Mr. Paul Lanning
July 3, 1996
Page 2

- Please provide information regarding the funding source(s), anticipated start and completion date of the assumed Alton Parkway extension. If FCCP monies are proposed to be used, please address the impacts on funding/phasing of other FCCP funded projects.

Project Alternatives

- We acknowledge that the NOP indicates the EIR will address alternative sites, including the consolidation of existing facilities. However, it appears that the use of "non-structural" solutions to overcrowding (e.g., electronic confinements, work furlough, video arraignments) are discounted in the NOP. The use of non-structural solutions should be further explored, including potential expansion of the inmate classifications addressed through these measures.
- In considering an alternative site(s), the EIR should carefully examine the pro's and con's of the site(s), especially all feasible sites currently owned by the County, including regional parks. This is an important issue especially considering that the Musick site is proposed to be completely rebuilt, thereby taking away the apparent advantage that would come from expanding an existing facility.
- The EIR should consider the use of MCAS El Toro as an alternative jail site, including examination of whether the base could accommodate both aviation uses and a prison facility.
- The analysis should include the comparative economic value of all possible sites for alternative development, including economies of scale comparing the cost of all operational aspects of a centralized facility(ies) compared to more local facilities.

Public Safety

- An assessment of the inmate escape records of other County-operated correctional facilities should be included. This analysis should also include crime statistics in areas with comparably sized facilities.
- Safety for the surrounding community should be ensured through a "fugitive capture plan" as an emergency response mitigation measure, including identifying proposed routes away from residential areas for the transport of high security inmates as well as plans for dealing with inmate related emergencies along transportation routes.

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Mr. Paul Lanning
July 3, 1996
Page 3

- Consideration should be given to alternatives to the on-site release of inmates. This issue is of particular concern due to limited public transportation and other support services in the vicinity of the site. One option which should be considered is to release inmates within their home communities.
- Hazards from the project to aviation uses at MCAS El Toro (light and glare, building/antenna heights), and hazards to the inmate population from proposed aviation uses should be addressed. The proposed approach and departure patterns of County Reuse Alternatives A and B should be utilized in the analysis.
- The EIR should also provide for an assessment of the impact of visitors of high security inmates and any correlation this may have on the incidence of crime in the area. A similar assessment should be provided with respect to inmate escapes.

Aesthetics

- Site planning for the Musick facility should evaluate alternatives for the location of buildings to sufficiently screen all buildings from view of residential areas.
- Please specify the type of fencing, security lighting/towers and landscaping for the project.
- Include a thorough discussion of light and glare impacts, particularly on the adjacent residential communities. Mitigation should be to City of Irvine or City of Lake Forest standards, whichever is more restrictive, as Irvine and Lake Forest are the principally affected communities.

Biological Resources

- Impacts of security lighting and construction activity on the adjacent NCCP Reserve area should be addressed. Impacts to this area may also occur from the extension of Alton Parkway, particularly if the MPAH alignment is not followed precisely.

Utilities and Service Systems

- Impacts to regional water supplies should include a SB 901 water supply assessment to the Irvine Ranch Water District. This assessment should include the cumulative demands of the County reuse alternatives for MCAS El Toro.

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Mr. Paul Lanning
July 3, 1996
Page 4

Land Use

- It appears that the extension of Alton Parkway will result in a remainder parcel between this arterial and the MCAS El Toro property line. The EIR should discuss the land use options for this remainder parcel.

We appreciate the opportunity to provide comments on the NOP. However, in order to maximize the opportunity for Irvine residents to provide input regarding the project, we request that a scoping meeting be held within the City of Irvine prior to completion of the Draft EIR, in addition to the one scheduled in Lake Forest next week.

We look forward to a presentation on the proposed expansion of the Musick facility by the Sheriff's department and Culbertson, Adams & Associates at our July 23rd City Council meeting.

Sincerely,

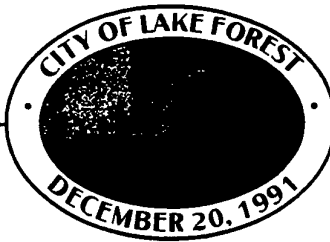


ROBERT C. JOHNSON
Director of Community Development

cc: Paul Brady, Jr., City Manager
Peter Herish, Manager of Land Use Policy Programs
Arya Rohani, Manager of Transportation Services
Sheri Vander Dussen, Manager of Planning & Development
Timor Rafiq, Principal Planner, Transportation Services
Rich Monroe, Senior Engineer, Engineering Services
Lierre Green, Public Safety

RCJ:mt/musick.nop

CITY OF LAKE FOREST



July 3, 1996

COUNTY OF ORANGE
Environmental Management Agency
Environmental and Project Planning Division
P.O. Box 4048
Santa Ana, CA 92702-4048
Attention: Mr. Paul Lanning

Mayor
Richard T. Dixon

Mayor Pro Tem
Helen Wilson

Council Members
Peter Herzog
Kathryn McCullough
Ann Van Haun

City Manager
Gaylord F. Knapp

City Clerk
Jeri L. Stately

SUBJECT: NOTICE OF PREPARATION - MUSICK JAIL EXPANSION

Dear Mr. Lanning:

The City of Lake Forest appreciates the opportunity to provide comments regarding the proposed expansion of the Musick Jail Facility as contemplated in the Notice of Preparation for Environmental Impact Report (EIR) No. 564. The City has several concerns regarding the proposed project which we believe need to be addressed in the EIR.

In general, we believe it somewhat a misnomer to characterize the proposed project as an expansion of the existing Musick facility. Inasmuch as the entire existing facility looks to be demolished and another, albeit larger, one is to be constructed in its place, this project in actuality is a new -- not expanded -- county jail. In fact, the scope of the new facility will dramatically change its operation as well as the effect on surrounding communities.

Our specific comments in response to the NOP are as follows:

COMMENTS:

The EIR should define the number of maximum, medium and minimum security inmates to be housed at Musick assuming an inmate population of 7,680. A firm cap on the total number of prisoners also should be identified.

The EIR should address, as an alternative, a prohibition of off-street bookings at Musick.

RECEIVED
JUL 3 1996
EWA
33728 Mercury Road
Lake Forest, CA 92630
(714) 707-5583
(714) 707-5723
DRUG USE
IS
LIFE ABUSE

Mr. Paul Lanning
July 3, 1996
Page 2

The EIR should address prisoner visitation conditions that limit visits to certain days and hours of operation with additional law enforcement staffing.

The EIR should consider the use of the El Toro MCAS as an alternative jail site or the inclusion of a jail facility as a non-aviation use of the base. Such consideration should include the comparative economic value of all possible sites for alternative development.

The EIR should evaluate alternative sites that provide a larger buffer from existing residential land uses. Additionally, the EIR should address the economic impact on residential property values of jail facilities constructed within close proximity of residential property.

The EIR should address the County's ability to pay for the construction and on-going operations of the Musick jail. Specifically, the EIR should address all potential funding sources including the proposed bond initiative for jail construction on the November, 1996 State ballot and the impact of its possible failure on the project.

The EIR should describe sitelines of the jail facilities from Bake Parkway and the Alton Extension. Specifically, proposed building heights of 45 feet are inconsistent with height requirements in surrounding communities and potentially with aviation uses.

The EIR should address the specific impacts of the proposed project on general traffic circulation in the area, bus service, and traffic generated air quality problems.

The EIR should address funding availability for the completion of Alton Parkway and potential impacts on other FCCP projects.

The EIR should address the temporary relocation of prisoner ingress and egress during construction.

The EIR should address displaced agricultural uses during construction. Additionally, existing and proposed agricultural acreage should be specified and reconciled with requirements of the NCCP. The EIR also should address the requirements for the storage of pesticides used in agricultural activities.

The EIR should address the impact on the inmate population by exposure to air traffic from each proposed aviation use of El Toro MCAS including impacts from air quality, noise, vibration, and other airport hazards.

Mr. Paul Lanning
July 3, 1996
Page 3

The EIR should address the specific impact of 6,000 new inmates and facility expansion on inducing additional growth in presently undeveloped areas in the local vicinity.

The EIR should adequately address the capacity for additional water, electricity, waste discharge, and fire protection to serve the project.

The EIR should describe the maximum number of inmates permitted under emergency or unusual circumstances.

The EIR should define the maximum number of medical beds to be permitted.

The EIR should define the ultimate build-out of Musick.

The EIR should consider the release of all inmates at the Main Jail in Santa Ana as an alternative to local release.

The EIR should include additional analysis of crime statistics in areas with comparably sized facilities that release prisoners into the general population.

The EIR should describe how the perimeter area of the Musick site specifically will be structurally secured and patrolled by armed, on-duty personnel. The use of landscaping and other screening measures should be addressed.

The EIR should address the traffic, noise and other impacts associated with the Bake Parkway access point to the proposed Sub-Station. The exact location of the Sheriff Sub-Station and the ICF relative to the secure perimeter should be clarified as well as the ingress and egress for prisoner busses.

The EIR should identify the nexus between traffic generated by the project and the need for an 850 automobile parking structure.

The EIR should consider, as an alternative, expanding the Musick Facility to house only minimum and medium security prisoners with maximum security prisoners housed in other facilities.

The EIR should specifically address any potential noise impacts on surrounding properties and identify necessary mitigation measures should those impacts exceed the standards in adjacent residential neighborhoods.

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Mr. Paul Lanning
July 3, 1996
Page 4

The EIR should address demand for this type of facility in south Orange County and specifically be reconciled with County EIR 588 which states:

Within the first six months of 1994, a profile of arrests within five miles of Theo Lacey Branch Jail indicated that approximately 42% of all arrests systemwide occurred within five miles of the Theo Lacy Branch Jail Facility. Furthermore, approximately, 68% of all arrests systemwide within the first six months of 1994 occurred within 10 miles of the facility. Therefore, a pre-trial inmate to be tried at Municipal Court of Central Orange County would not reasonably be kept in South Orange County. This data strongly suggests that the Theo Lacey Branch Jail is situated ideally for serving the population of inmates for which the public deserves protection.

The EIR should address the maximum client capacity at the ICF.

Page 2 of the NOP states that the project is described "as the most expedient reasonable and feasible project proposal" to bring new beds on line at a site already owned by the County of Orange. This statement should be reconciled with the California Environmental Quality Act which states that the purpose of an EIR is to identify significant effects of a project on the environment, to identify alternatives to the project, and to indicate the manner in which those significant effects can be avoided.

The EIR should address the possibility of leasing or renting jail space from other public or private agencies within or outside of Orange County.

The EIR should specify the phasing for the proposed project. The EIR should describe the sequence in which the jail facilities, ICF and substation will be built.

The NOP states the proposed project will meet the County's need for jail space through the year 2006. The EIR should study alternative sites which could accommodate further expansions and meet the County's long-term need for jail space.

The EIR should identify how many maximum security jails exist in California which are located within 720 feet of residential housing and describe what the impact has been on these neighborhoods.

The City of Lake Forest also believes that significant public input should be solicited regarding the project. In that regard, we suggest that public meetings be held in the communities directly affected by the project once the Draft EIR is releases.

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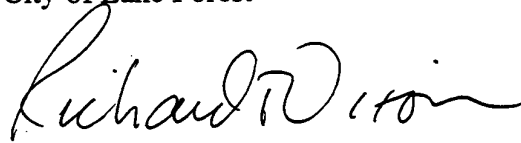
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Mr. Paul Lanning
July 3, 1996
Page 5

Again, we appreciate the opportunity to provide comments on the NOP for this project. We look forward to continued dialogue on this matter of significant concern to our community.

Sincerely,

City of Lake Forest

A handwritten signature in black ink, appearing to read "Richard T. Dixon". The signature is fluid and cursive, with a long horizontal stroke at the end.

Richard T. Dixon
Mayor

cc: Supervisor Don Saltarelli
Sheriff Brad Gates
City Council
City Manager

002025

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SHERIFF-CORONER DEPARTMENT
COUNTY OF ORANGE
CALIFORNIA

BRAD GATES
SHERIFF-CORONER

SERVING THE UNINCORPORATED AREAS
OF ORANGE COUNTY AND THE CITIES OF:

DANA POINT	SAN CLEMENTE
LAGUNA HILLS	SAN JUAN CAPISTRANO
LAGUNA NIGUEL	STANTON
LAKE FOREST	VILLA PARK
MISSION VIEJO	

OFFICE OF SHERIFF-CORONER

July 3, 1996

RAUL RAMOS
UNDERSHERIFF

ASSISTANT SHERIFFS
JOHN HEWITT
JERRY KRANS
DENNIS LADUCER
DOUG STORM

RECEIVED

JUL 08 1996

Environmental & Project Planning

Mr. Paul Lanning
Environmental Management Agency
Environmental & Project Planning Division
300 N. Flower Street
Santa Ana, California 92702

Subject: *Expansion of James A. Musick Facility - Notice of Intent to Prepare a Draft
Environmental Impact Report #564*

Dear Mr. Lanning:

Thank you for the opportunity to comment on the Notice of Preparation issued on June 7, 1996 by the Environmental Management Agency for the proposed expansion of the James A. Musick Facility. As the responsible agency for the operation of all county jail facilities, the Sheriff's Department has been and will continue to be actively involved in the preparation, technical support and review of all environmental documentation relating to the Musick Facility.

I believe it is essential for the public to understand why this project is necessary and why this project needs to proceed as quickly as possible in order to prevent the continued release of criminals back onto the streets and neighborhoods of our community. I believe it is necessary for me to provide some background and justification so that the public can understand why this environmental documentation is being prepared to expand the Musick Facility.

The current overcrowding of our existing jail facilities forces me each year to release early tens of thousands of criminals from jail. Our current inability to provide enough beds for the number of inmates booked continues to be our most frustrating problem. The Sheriff's Department must keep a constant vigil on its jail population in order to remain in compliance with the federal court order of Stewart v. Gates which places a population cap on our Men's Central jail. To maintain compliance we are forced to release criminals prior to the completion of their court imposed sentences. We do this on a daily basis. During the last two and a half years alone we have had to release early over *100,000 criminals*. Federal court order compliance also mandates us to provide a bed within 24 hours of booking for all prisoners. This forces us to implement a variety of policies which all result in the early release of criminals back into the community.

550 N. FLOWER STREET • P.O. BOX 449 • SANTA ANA, CALIFORNIA 92702-0449 • (714) 647-7000

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Mr. Paul Lanning
July 3, 1996
Page 2

By necessity, we have had a policy since 1986 not to book into the jail most misdemeanor arrestees or criminals with arrest warrants with bail under \$5,000, other than bench warrants. This policy continues today. These types of arrestees are never accepted into the jail but are, instead, cited and released at the front door to the jail. Because there are insufficient jail beds to house these criminals they are released right back out onto the street, usually within hours of their arrest, with a citation notifying them to appear in court on a certain date. We are also forced to turn away federal and state parole violators being booked at our jail in order to maximize the number of beds available.

Since the beginning of the cite and release program, which was implemented because of our overcrowding problem, over 175,000 persons have been turned away at the front door of the jail and instead given a citation to appear in court at a later date. Many of these criminals fail to appear in court. These people are back on the streets committing more crimes when they should be in jail. Some of the types of criminals and crimes I am forced to cite and release with a promise to appear include: Driving Under the Influence, Assault and Battery, Concealed/Loaded Firearm, Resisting Arrest, Under the Influence of a Controlled Narcotic or PCP, and Disturbing the Peace. During 1995 there were 882 criminals who had been released early, prior to the end of their sentences, due to our overcrowding problem, who were *arrested on new charges during the time they would have been in jail*. That's an average of 2.4 crimes per day, and that only represents those who were caught committing another crime. None of these crimes would have occurred if we were not forced to release these criminals from jail due to lack of space.

A major factor contributing to our overcrowding problem has been the increase in our average length of stay for a jail inmate. In 1986 the average length of stay for an inmate was 16.2 days. Today the average length of stay is approximately 106 days for an inmate awaiting trial. If that inmate is awaiting trial under the "Three Strikes And You're Out" legislation the average length of stay increases to 245 days. We currently have approximately 170 inmates awaiting trial on Three Strikes charges. What this translates to is longer stays in jail which increase the jail bed pressure which ultimately results in more early releases of sentenced criminals back onto the streets and into our communities.

Our deficit of jail beds continues to grow year by year. As of today, we are 3,946 rated beds short of the number of beds needed. By the year 2006, that deficit is projected to be 7,090. Even with the planned expansion of the Theo Lacy facility in the City of Orange, as described in EIR 558, the shortfall of rated beds by the year 2006 will still be 6,411. It takes years to design and construct a new jail facility. We must start now if we expect to provide the necessary beds to keep our communities safe. The County has spent considerable time and resources searching for jail sites. The least expensive, most cost effective approach is to utilize existing jail sites. Both the Civic Center site in Santa Ana and the Theo Lacy site in the City of Orange have no more available land on which to build. The Theo Lacy site, when it is completely built out, will house approximately

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Mr. Paul Lanning
July 3, 1996
Page 3

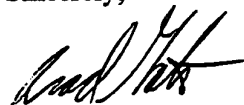
3,000 inmates on approximately 11 acres of land. The Musick Facility has 100 acres of land on which to build. Economically it just makes sense to build on land that we already own. I do not need to remind the County of the millions of dollars that have been spent looking for jail sites, to no avail.

The location of the Musick Facility also makes it an appropriate site for expansion when you consider that in 1995, within a 10 mile radius of the Musick Facility, there were in excess of 18,000 arrests that resulted in a booking at the Orange County Jail. These 18,000 persons committed crimes in the vicinity of the Musick Facility and those jurisdictions that made those arrests had to drive those persons to Santa Ana for booking at the Intake Release Center. A booking facility located at the Musick Facility is not only needed and appropriate but would allow police units to return to duty back on the street in a much more expeditious manner. This will improve police protection in all jurisdictions around the Musick Facility by increasing the amount of time police officers are on the street. Also, many of these 18,000 arrestees will be tried in South County court. Transportation time and expense will be reduced by housing prisoners closer to where they will be making their court appearances.

There are several promising sources of funding for the construction and operating costs for this jail expansion. Priority for appropriations will depend in a large part on which jurisdictions have plans and environmental documentation completed. There is a \$450 million dollar State bond measure for jail construction coming up on the November 1996 ballot. There is also a legislative proposal called COPS (Citizens Option for Public Safety) which if ratified would allocate 1% of all taxpayers State income taxes for law enforcement purposes. It is estimated that this program could generate approximately \$5 million dollars a year for Orange County law enforcement. Additionally, monies generated from jail booking fees, approximately \$1.9 million dollars a year, and excess revenue from Prop 172 could also be applied to offset jail construction and operating costs.

In conclusion, we will continue to work closely with EMA in our role as Responsible Agency. Completion of this environmental impact report will be the next important step in meeting our jail bed needs through the year 2006. The citizens of Orange County deserve a future and a community where they can feel safe and protected. The addition of these jail beds will help to ensure that there is adequate space to hold arrested persons pending trial, and to house those sentenced by the courts for the full term of their sentences.

Sincerely,



BRAD GATES
SHERIFF-CORONER

002028

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Community Development Department

City of Tustin

July 2, 1996

300 Centennial Way
Tustin, CA 92680

Environmental Management Agency
Environmental Planning
Attention: Paul Lanning
Post Office Box 4048
Santa Ana, CA 92702-4048

Director
(714) 573-3031

Planning & Zoning Info.
(714) 573-3140

**SUBJECT: NOTICE OF PREPARATION AND INITIAL STUDY FOR
THE EXPANSION OF THE JAMES A. MUSICK JAIL
FACILITY, THE RELOCATION OF AN INTERIM CARE
FACILITY AND A NEW SHERIFF'S STATION**

Building
(714) 573-3131
(714) 573-3132

Housing
(714) 573-3117

Dear Mr. Lanning:

Code Enforcement
(714) 573-3134

The City of Tustin appreciates the opportunity to review and provide comments on the Notice of Preparation (NOP) and Initial Study for the expansion of the James A. Musick Jail Facility, the relocation of an interim care facility for emotionally unstable youths, and a new sheriff's station. The NOP indicates that the enlarged jail facility would accommodate approximately 7,680 inmates versus the 1,200 inmates presently housed at the facility.

Business License
(714) 573-3144

Inspection Requests
(714) 573-3141

Graffiti Hot Line
(714) 573-3111

FAX Machine
(714) 573-3113

We have reviewed the environmental documents and it does not appear at this time that the proposed expansion and other new facilities would result in direct impacts to the City of Tustin. However, for monitoring purposes we would appreciate receiving copies of the draft environmental impact report and complete traffic study when they are made available.

Thank you again for the opportunity to review the subject Notice of Preparation and Initial Study. Should you have any questions, please do not hesitate to contact Scott Reekstin at (714) 573-3016.

Sincerely,

Elizabeth A. Binsack

Elizabeth A. Binsack
Director
Community Development

EB:SCR:environm\musick.ltr

cc: Rita Westfield
Dana Kasdan

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JUL 05 1996
EMA

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July 7, 1996.

County of Orange
Environmental Management Agency
Environmental and Project Planning Division
P.O.Box 4048
Santa Ana, Ca. 92702-4048
Attention; Mr Paul Lanning

Subject; Notice of Preparation - Musick Jil Expansion

Dear Mr. Lanning;

I am a resident of the City of Lake Forest and am availing myself of the opportunity to respond to NCP for EIR No. 564.

Following are my concerns that I would expect to see addressed in the EIR.

1. Change the name of the EIR from 'Expansion' to 'Development' since this proposal would completely alter the character and purpose of the current facility.

2. LAND USE - Address the SIGNIFICANT impact on the adjacent residential community within the City of Lake Forest. Though the current land use designation would seem to permit the proposal, this designation is a remnant of historic land use designations, completely incongruous in the current configuration of land uses within the County of Orange, City of Irvine and the City of Lake Forest.

3. AIR QUALITY The impact of the facility on current air quality should be considered 'Significant'. This facility would remove the current vegetation from the oxygen output, and impact the production of pollutants through increased automobile emissions due to increased traffic to and from the facility.

4. NOISE The current facility use produces unacceptable levels of noise. The projected noise levels should be calculated INDEPENDENT of any existing or proposed adjacent uses.

5. AESTHETICS Numbers a,c and d should be considered as 'potential significant impact'. This area would be especially sensitive to the single family residences within 1000 yards of the proposed facility.

6. PUBLIC SERVICES The design of this facility should require it to 'stand alone' in its impact upon the surrounding Cities emergency/public services use. Provision should be made for this facility to pay for its emergency/public services from an independent budget, not derived from the Sheriff's operating budget or the County General Fund. To indicate that maintenance of roads would

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not be impacted is fantasy. The EIR MUST address the impact upon the road system of the increased traffic and the collateral effects of the increased traffic upon the roads within the incorporated cities of Lake Forest and Irvine.

7. MISCELLANEOUS CONCERNS Information MUST be included in the EIR that would delineate the inmate population mix, place a numerical cap on the inmate population, give mandated guard/inmate ratios, provide for a mandated notification system to the surrounding communities of escapes, include Lake Forest resident involvement in the design of the structures and the ingress and egress to be used by the facility, and that all lighting be designed to prevent spillage into the adjacent residential community.

In conclusion, I reiterate the statement made to the County of Orange in response to EIR #447 ...

"The residents of the Saddleback Valley categorically reject ANY consideration of the medium-maximum jail as an alternative. We agree with the EIR that "There are no foreseen positive effects related to this alternative..."

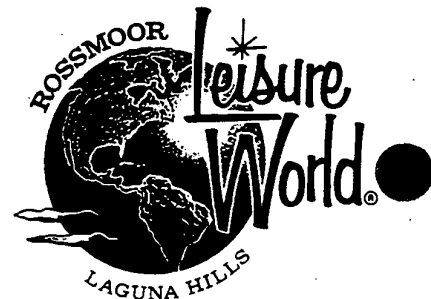
Sincerely,

Marcia Rudolph.

Marcia Rudolph
24922 #139 Muirlands
Lake Forest, Ca. 92630
830-9816

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July 3, 1996

COUNTY OF ORANGE
Environmental Management Agency
Environmental and Project Planning Division
Attention: Mr. Paul Lanning
P. O. Box 4048
Santa Ana, CA 92702-4048

SUBJECT: NOTICE OF PREPARATION - MUSICK JAIL EXPANSION

Dear Mr. Lanning:

The Leisure World Golden Rain Foundation appreciates the opportunity to provide comments regarding the proposed expansion of the Musick Jail Facility as contemplated in the Notice of Preparation for Environmental Impact Report (EIR) No. 564. The Golden Rain Foundation has the following concerns regarding the proposed project which we believe need to be addressed in the EIR.

The EIR should consider the use of the El Toro MCAS as an alternative jail site or the inclusion of a fail facility as a non-aviation use of the base. Such consideration should include the comparative economic value of all possible sites for alternative development.

The EIR should evaluate alternative sites that provide a larger buffer from existing residential land uses. Additionally, the EIR should address the economic impact on residential property values of jail facilities constructed within close proximity of residential property.

The EIR should address the specific impacts of the proposed project on general traffic circulation in the area, bus service, and traffic generated air quality problems.

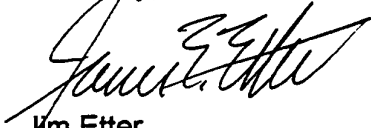
The EIR should address the specific impact of 6,000 new inmates and facility expansion on inducing additional growth in presently undeveloped areas in the local vicinity.

The EIR should describe how the perimeter area of the Musick site specifically will be structurally secured and patrolled by armed, on-duty personnel. The use of landscaping and other screening measures should be addressed.

The EIR should consider, as an alternative, expanding the Musick Facility to house only minimum and medium security prisoners with maximum security prisoners housed in other facilities.

Again, we appreciate the opportunity to provide comments on the NOP for this project. We look forward to continued dialogue on this matter of significant concern to our community.

Sincerely,



Jim Etter
President

JE/KW/n

c: Supervisor Bergeson, Fifth District
City Mgr. Paul Brady - City of Irvine
City Mgr. Robert Dunek - City of Lake Forest

JAILDOC

002033



AIRPORT LAND USE COMMISSION

FOR ORANGE COUNTY

3151 Airway Avenue, Building K-101
Costa Mesa, Ca. 92626

Phone: (714) 252-5170

Fax: (714) 252-5290

July 1, 1996

Mr. Paul Lanning

EMA/Environmental Planning

P.O. Box 4048

Santa Ana, CA 92702-4048

Re: Notice of Intent To Prepare A Draft Environmental Impact Report #564

Dear Mr. ^{Paul}Lanning:

I am in receipt of the subject Notice of Preparation pertaining to the expansion of the James A. Musick Facility. As you know, the Airport Land Use Commission's (ALUC) Airport Environs Land Use Plan (AELUP) includes MCAS El Toro and the surrounding environs as one of the Commission's adopted planning areas (AELUP Section 2.2.1, pages 10-12). Consequently, the land use restrictions and mitigation measures promulgated in the AELUP apply to the County's project area. Therefore, it is imperative that the EIR discuss and analyze the following AELUP issues in detail:

Airport Noise Impact - All of the project area is located within the AELUP Noise Impact Zone 1, i.e., High Noise Impact (65 dB CNEL and above). In fact, a majority of the project area is located within the 70 dB CNEL, and a small portion of the area is subject to aircraft noise impact of 75 dB CNEL.

Accident Potential - A small portion of the project area (located at the northern corner) penetrates the highly restricted AELUP Accident Potential Zone I, which applies planning criteria for "Considerable Crash Hazard".

Height Restriction - All of the project area is located within the AELUP Height Restriction Zone, which is based on the Federal Aviation Regulations Part 77, and on the 1981 MCAS El Toro AICUZ Study. In fact, nearly all of the project area is located beneath the highly restricted Inner Horizontal Surface. A small portion of the project area (located at the northern corner) is beneath the 50:1 Approach Surface for Runway 25 at MCAS El Toro. A narrow portion located at the southeast boundary of the project area is beneath the 20:1 Conical Surface, and an additional portion lies beneath the 7:1 Transitional Surface which connects the Approach and Inner Horizontal Surfaces.

AELUP Section 3 (Subsections 3.1 through 3.2.2) presents the land use guidelines that are applicable within the three planning areas described above. These guidelines include land use restrictions, as well as appropriate mitigation measures for permitted uses within the various areas.

Thank you for this opportunity to submit these comments in response to your NOP. If you should have any questions on the issues discussed herein, please contact me at your discretion at the number listed above.

Sincerely,

Eric R. Freed
Executive Officer

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CITY OF ANAHEIM, CALIFORNIA

Planning Department

July 3, 1996

Paul Lanning
County of Orange
Environmental Management Agency
P.O. Box 4048
Santa Ana, CA 92702-4048

RE: Notice of Preparation for the James A. Musick Facility; Relocation of Interim Care Facility; Southeast Sheriff's Station

Dear Mr. Lanning:

Thank you for the opportunity to review the above-referenced document. City staff have reviewed the environmental document and have no comment at this time. Please forward any subsequent environmental documents and notices to my attention at the address listed below.

Sincerely,

Karen L. Freeman
Associate Planner

ap5057kf.wp

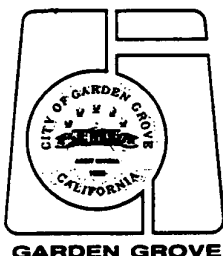
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EMA

200 South Anaheim Boulevard
P.O. Box 3222, Anaheim, California 92803 (714) 254-5139



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CITY OF GARDEN GROVE, CALIFORNIA

11222 ACACIA PARKWAY, P.O. BOX 3070, GARDEN GROVE, CALIFORNIA 92642

(714) 741-5312

July 3, 1996

Orange County Environmental Management Agency (EMA)
Environmental Planning Division
Attn: Paul Lanning
P.O. Box 4048
Santa Ana, CA 92702-4048

Subject: Notice of Preparation of a Draft Environmental Impact Report for the Expansion of the James A. Musick Facility

Thank you for providing the City of Garden Grove with the opportunity to review and comment on the Notice of Preparation of an Environmental Impact Report for the proposed expansion of the James A. Musick Facility, located in an unincorporated area of the County of Orange. We do not have any comments for the proposed project at this time, but we would appreciate receiving copies of the Draft EIR and other documents associated with the proposed expansion.

Sincerely,

Mel Lee
Associate Planner

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JUL 05 1996
EMA

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San Joaquin Hills Corridor Agency
Foothill/Eastern Corridor Agency

Chairman: Patricia Bates
Laguna Niguel
Chairman: Scott Diehl
San Clemente



TRANSPORTATION CORRIDOR AGENCIES

William Woollett, Jr.
Chief Executive Officer

Walter D. Kreutzon
Executive Vice President
Finance & Administration

Gregory G. Henk
Executive Vice President
Design & Construction

July 8, 1996

Paul Lanning
Environmental Management Agency
P.O. Box 4048
Santa Ana, CA 92702-4048

RECEIVED
JUL 09 1996
Environmental & Project Planning

Subject: Comments on the Notice of Preparation for the Draft Environmental Impact Report 564 for the Expansion of the James A. Musick; Relocation of Interim Care Facility; Southeast Sheriff's Station County of Orange.

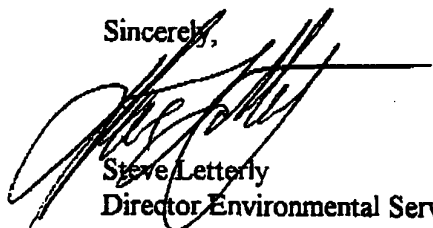
Dear Mr. Lanning;

Thank you for the opportunity to review and comment on the Notice of Preparation (NOP) for the Draft Environmental Impact Report (DEIR) #564. The following is the Transportation Corridor Agencies (TCA) comment on the NOP:

- Exhibit 2, Vicinity Map needs to include the Eastern Transportation Corridor.

Please forward a copy of the DEIR to the TCA when it becomes available. If you have any questions, please contact Macie Cleary-Milan at, (714) 513-3483.

Sincerely,


Steve Letterly
Director Environmental Services

Post-It™ brand fax transmittal memo 7671		# of pages »
To	Paul Lanning	
Co.		
Dept.		
Fax #	834-6132	

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201 E. SANDPOINTE AVE., SUITE 200, P.O. BOX 28870, SANTA ANA, CA 92799-8870 714/436-9800 FAX 714/436-9848

Members: Anaheim • Costa Mesa • County of Orange • Dana Point • Irvine • Lake Forest • Laguna Hills • Laguna Niguel • Mission Viejo • Orange • Newport Beach • Santa Ana • San Clemente • San Juan Capistrano • Tustin • Yorba Linda



MWD

METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA

RECEIVED
JUL 10 1996
EMA

Office of the General Manager

July 2, 1996

Mr. Paul Lanning
Environmental Management Agency
P.O. Box 4048
Santa Ana, California 92702-4048

Dear Mr. Lanning:

Notice of Preparation of a Draft Environmental
Impact Report for the James A. Musick
Jail Facility Expansion and Operation

We have received the Notice of Preparation (NOP) of a Draft Environmental Impact Report (DEIR) for the James A. Musick Jail Facility Expansion and Operation. The proposed project involves the construction of a sheriff's station, an interim care facility, and housing units at the existing jail facility to increase the number of inmate beds from 713 to 7,572 beds. The comments herein represent the response of The Metropolitan Water District of Southern California (Metropolitan) as a potentially affected public agency.

Our review of the NOP indicates that Metropolitan's Allen McColloch Pipeline (AMP) is located approximately 1,500 feet east of the proposed project site. The AMP is a 66-inch diameter pipeline that conveys treated water to Metropolitan's member agencies and subagencies. In addition, Metropolitan has a planned pipeline parallel to the AMP. The enclosed map shows Metropolitan's existing and planned facilities in relation to the proposed project. The DEIR should disclose if any impacts to the AMP or the AMP parallel pipeline are anticipated.

In order to avoid potential conflicts with Metropolitan's existing and planned facilities, we request that preliminary engineering design drawings or improvement plans for any activity in the area of Metropolitan's pipelines and rights-of-way be submitted for our review and written approval. You may obtain detailed prints of drawings of Metropolitan's pipelines and rights-of-way by calling Metropolitan's Substructures Information Line at (213) 217-6564. To assist you in preparing plans that are compatible with Metropolitan's facilities and easements, we have enclosed a copy of the "Guidelines for Developments in the Area of Facilities, Fee Properties, and/or Easements of The Metropolitan Water District of Southern

THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA

Mr. Paul Lanning

-2-

July 2, 1996

California." Please note that all submitted designs or plans must clearly identify Metropolitan's facilities and rights-of-way.

The proposed project site is bordered on the northeast side by the habitat reserve established by the Natural Community Conservation Plan and Habitat Conservation Plan for the Central and Coastal Subregion of the County of Orange (NCCP/HCP). Metropolitan is a participant in the NCCP/HCP process and is concerned about potential impacts to the habitat reserve from incompatible adjacent uses. The DEIR should identify potential impacts to the reserve.

We appreciate the opportunity to provide input to your planning process. If we can be of further assistance, please contact me at (213) 217-6242.

Very truly yours,

Laura J. Simonek

Laura J. Simonek
Principal Environmental Specialist

MME:ac

Enclosures

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Guidelines for Developments in the
Area of Facilities, Fee Properties, and/or Easements
of The Metropolitan Water District of Southern California

1. Introduction

a. The following general guidelines should be followed for the design of proposed facilities and developments in the area of Metropolitan's facilities, fee properties, and/or easements.

b. We require that 3 copies of your tentative and final record maps, grading, paving, street improvement, landscape, storm drain, and utility plans be submitted for our review and written approval as they pertain to Metropolitan's facilities, fee properties and/or easements, prior to the commencement of any construction work.

2. Plans, Parcel and Tract Maps

The following are Metropolitan's requirements for the identification of its facilities, fee properties, and/or easements on your plans, parcel maps and tract maps:

a. Metropolitan's fee properties and/or easements and its pipelines and other facilities must be fully shown and identified as Metropolitan's on all applicable plans.

b. Metropolitan's fee properties and/or easements must be shown and identified as Metropolitan's with the official recording data on all applicable parcel and tract maps.

c. Metropolitan's fee properties and/or easements and existing survey monuments must be dimensionally tied to the parcel or tract boundaries.

d. Metropolitan's records of surveys must be referenced on the parcel and tract maps.

3. Maintenance of Access Along Metropolitan's Rights-of-Way

a. Proposed cut or fill slopes exceeding 10 percent are normally not allowed within Metropolitan's fee properties or easements. This is required to facilitate the use of construction and maintenance equipment, and provide access to its aboveground and belowground facilities.

b. We require that 16-foot-wide commercial-type driveway approaches be constructed on both sides of all streets crossing Metropolitan's rights-of-way. Openings are required in any median island. Access ramps, if necessary, must be at least 16-foot-wide. Grades of ramps are normally not allowed to exceed 10 percent. If the slope of an access ramp must exceed 10 percent due to the topography, the ramp must be paved. We require a 40-foot-long level area on the driveway approach to access ramps where the ramp meets the street. At Metropolitan's fee properties, we may require fences and gates.

c. The terms of Metropolitan's permanent easement deeds normally preclude the building or maintenance of structures of any nature or kind within its easements, to ensure safety and avoid interference with operation and maintenance of Metropolitan's pipelines or other facilities. Metropolitan must have vehicular access along the easements at all times for inspection, patrolling, and for maintenance of the pipelines and other facilities on a routine basis. We require a 20-foot-wide clear zone around all above-ground facilities for this routine access. This clear zone should slope away from our facility on a grade not to exceed 2 percent. We must also have access along the easements with construction equipment. An example of this is shown on Figure 1.

d. The footings of any proposed buildings adjacent to Metropolitan's fee properties and/or easements must not encroach into the fee property or easement or impose additional loading on Metropolitan's pipelines or other facilities therein. A typical situation is shown on Figure 2. Prints of the detail plans of the footings for any building or structure adjacent to the fee property or easement must be submitted for our review and written approval as they pertain to the pipeline or other facilities therein. Also, roof eaves of buildings adjacent to the easement or fee property must not overhang into the fee property or easement area.

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e. Metropolitan's pipelines and other facilities, e.g. structures, manholes, equipment, survey monuments, etc. within its fee properties and/or easements must be protected from damage by the easement holder on Metropolitan's property or the property owner where Metropolitan has an easement, at no expense to Metropolitan. If the facility is a cathodic protection station it shall be located prior to any grading or excavation. The exact location, description and way of protection shall be shown on the related plans for the easement area.

4. Easements on Metropolitan's Property

a. We encourage the use of Metropolitan's fee rights-of-way by governmental agencies for public street and utility purposes, provided that such use does not interfere with Metropolitan's use of the property, the entire width of the property is accepted into the agency's public street system and fair market value is paid for such use of the right-of-way.

b. Please contact Metropolitan's Real Property Branch concerning easements for landscaping, street, storm drain, sewer, water or other public facilities proposed within Metropolitan's fee properties. A map and legal description of the requested easements must be submitted. Also, written evidence must be submitted that shows the city or county will accept the easement for the specific purposes into its public system. The grant of the easement will be subject to Metropolitan's rights to use its land for water pipelines and related purposes to the same extent as if such grant had not been made. There will be a charge for the easement. Please note that, if entry is required on the property prior to issuance of the easement, an entry permit must be obtained. There will also be a charge for the entry permit.

5. Landscaping

Metropolitan's landscape guidelines for its fee properties and/or easements are as follows:

a. A green belt may be allowed within Metropolitan's fee property or easement.

b. All landscape plans shall show the location and size of Metropolitan's fee property and/or easement and the location and size of Metropolitan's pipeline or other facilities therein.

c. Absolutely no trees will be allowed within 15 feet of the centerline of Metropolitan's existing or future pipelines and facilities.

d. Deep-rooted trees are prohibited within Metropolitan's fee properties and/or easements. Shallow-rooted trees are the only trees allowed. The shallow-rooted trees will not be permitted any closer than 15 feet from the centerline of the pipeline, and such trees shall not be taller than 25 feet with a root spread no greater than 20 feet in diameter at maturity. Shrubs, bushes, vines, and ground cover are permitted, but larger shrubs and bushes should not be planted directly over our pipeline. Turf is acceptable. We require submittal of landscape plans for Metropolitan's prior review and written approval. (See Figure 3).

e. The landscape plans must contain provisions for Metropolitan's vehicular access at all times along its rights-of-way to its pipelines or facilities therein. Gates capable of accepting Metropolitan's locks are required in any fences across its rights-of-way. Also, any walks or drainage facilities across its access route must be constructed to AASHTO H-20 loading standards.

f. Rights to landscape any of Metropolitan's fee properties must be acquired from its Right of Way and Land Division. Appropriate entry permits must be obtained prior to any entry on its property. There will be a charge for any entry permit or easements required.

6. Fencing

Metropolitan requires that perimeter fencing of its fee properties and facilities be constructed of universal chain link, 6 feet in height and topped with 3 strands of barbed wire angled upward and outward at a 45 degree angle or an approved equal for a total fence height of 7 feet. Suitable substitute fencing may be considered by Metropolitan. (Please see Figure 5 for details).

7. Utilities in Metropolitan's Fee Properties and/or Easements or Adjacent to Its Pipeline in Public Streets

Metropolitan's policy for the alinement of utilities permitted within its fee properties and/or easements and street rights-of-way is as follows:

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a. Permanent structures, including catch basins, manholes, power poles, telephone riser boxes, etc., shall not be located within its fee properties and/or easements.

b. We request that permanent utility structures within public streets, in which Metropolitan's facilities are constructed under the Metropolitan Water District Act, be placed as far from our pipeline as possible, but not closer than 5 feet from the outside of our pipeline.

c. The installation of utilities over or under Metropolitan's pipeline(s) must be in accordance with the requirements shown on the enclosed prints of Drawings Nos. C-11632 and C-9547. Whenever possible we request a minimum of one foot clearance between Metropolitan's pipe and your facility. Temporary support of Metropolitan's pipe may also be required at undercrossings of its pipe in an open trench. The temporary support plans must be reviewed and approved by Metropolitan.

d. Lateral utility crossings of Metropolitan's pipelines must be as perpendicular to its pipeline alignment as practical. Prior to any excavation our pipeline shall be located manually and any excavation within two feet of our pipeline must be done by hand. This shall be noted on the appropriate drawings.

e. Utilities constructed longitudinally within Metropolitan's rights-of-way must be located outside the theoretical trench prism for uncovering its pipeline and must be located parallel to and as close to its rights-of-way lines as practical.

f. When piping is jacked or installed in jacked casing or tunnel under Metropolitan's pipe, there must be at least two feet of vertical clearance between the bottom of Metropolitan's pipe and the top of the jacked pipe, jacked casing or tunnel. We also require that detail drawings of the shoring for the jacking or tunneling pits be submitted for our review and approval. Provisions must be made to grout any voids around the exterior of the jacked pipe, jacked casing or tunnel. If the piping is installed in a jacked casing or tunnel the annular space between the piping and the jacked casing or tunnel must be filled with grout.

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g. Overhead electrical and telephone line requirements:

1) Conductor clearances are to conform to the California State Public Utilities Commission, General Order 95, for Overhead Electrical Line Construction or at a greater clearance if required by Metropolitan. Under no circumstances shall clearance be less than 35 feet.

2) A marker must be attached to the power pole showing the ground clearance and line voltage, to help prevent damage to your facilities during maintenance or other work being done in the area.

3) Line clearance over Metropolitan's fee properties and/or easements shall be shown on the drawing to indicate the lowest point of the line under the most adverse conditions including consideration of sag, wind load, temperature change, and support type. We require that overhead lines be located at least 30 feet laterally away from all above-ground structures on the pipelines.

4) When underground electrical conduits, 120 volts or greater, are installed within Metropolitan's fee property and/or easement, the conduits must be incased in a minimum of three inches of red concrete. Where possible, above ground warning signs must also be placed at the right-of-way lines where the conduits enter and exit the right-of-way.

h. The construction of sewerlines in Metropolitan's fee properties and/or easements must conform to the California Department of Health Services Criteria for the Separation of Water Mains and Sanitary Services and the local City or County Health Code Ordinance as it relates to installation of sewers in the vicinity of pressure waterlines. The construction of sewerlines should also conform to these standards in street rights-of-way.

i. Cross sections shall be provided for all pipeline crossings showing Metropolitan's fee property and/or easement limits and the location of our pipeline(s). The exact locations of the crossing pipelines and their elevations shall be marked on as-built drawings for our information.

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j. Potholing of Metropolitan's pipeline is required if the vertical clearance between a utility and Metropolitan's pipeline is indicated on the plan to be one foot or less. If the indicated clearance is between one and two feet, potholing is suggested. Metropolitan will provide a representative to assist others in locating and identifying its pipeline. Two-working days notice is requested.

k. Adequate shoring and bracing is required for the full depth of the trench when the excavation encroaches within the zone shown on Figure 4.

1. The location of utilities within Metropolitan's fee property and/or easement shall be plainly marked to help prevent damage during maintenance or other work done in the area. Detectable tape over buried utilities should be placed a minimum of 12 inches above the utility and shall conform to the following requirements:

1) Water pipeline: A two-inch blue warning tape shall be imprinted with:

"CAUTION BURIED WATER PIPELINE"

2) Gas, oil, or chemical pipeline: A two-inch yellow warning tape shall be imprinted with:

"CAUTION BURIED _____ PIPELINE"

3) Sewer or storm drain pipeline: A two-inch green warning tape shall be imprinted with:

"CAUTION BURIED _____ PIPELINE"

4) Electric, street lighting, or traffic signals conduit: A two-inch red warning tape shall be imprinted with:

"CAUTION BURIED _____ CONDUIT"

5) Telephone, or television conduit: A two-inch orange warning tape shall be imprinted with:

"CAUTION BURIED _____ CONDUIT"

m. Cathodic Protection requirements:

1) If there is a cathodic protection station for Metropolitan's pipeline in the area of the proposed work, it shall be located prior to any grading or excavation. The exact location, description and manner of protection shall be shown on all applicable plans. Please contact Metropolitan's Corrosion Engineering Section, located at Metropolitan's F. E. Weymouth Softening and Filtration Plant, 700 North Moreno Avenue, La Verne, California 91750, telephone (714) 593-7474, for the locations of Metropolitan's cathodic protection stations.

2) If an induced-current cathodic protection system is to be installed on any pipeline crossing Metropolitan's pipeline, please contact Mr. Wayne E. Risner at (714) 593-7474 or (213) 250-5085. He will review the proposed system and determine if any conflicts will arise with the existing cathodic protection systems installed by Metropolitan.

3) Within Metropolitan's rights-of-way, pipelines and carrier pipes (casings) shall be coated with an approved protective coating to conform to Metropolitan's requirements, and shall be maintained in a neat and orderly condition as directed by Metropolitan. The application and monitoring of cathodic protection on the pipeline and casing shall conform to Title 49 of the Code of Federal Regulations, Part 195.

4) If a steel carrier pipe (casing) is used:

(a) Cathodic protection shall be provided by use of a sacrificial magnesium anode (a sketch showing the cathodic protection details can be provided for the designers information).

(b) The steel carrier pipe shall be protected with a coal tar enamel coating inside and out in accordance with AWWA C203 specification.

n. All trenches shall be excavated to comply with the CAL/OSHA Construction Safety Orders, Article 6, beginning with Sections 1539 through 1547. Trench backfill shall be placed in 8-inch lifts and shall be compacted to 95 percent relative compaction (ASTM D698) across roadways and through protective dikes. Trench backfill elsewhere will be compacted to 90 percent relative compaction (ASTM D698).

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o. Control cables connected with the operation of Metropolitan's system are buried within streets, its fee properties and/or easements. The locations and elevations of these cables shall be shown on the drawings. The drawings shall note that prior to any excavation in the area, the control cables shall be located and measures shall be taken by the contractor to protect the cables in place.

p. Metropolitan is a member of Underground Service Alert (USA). The contractor (excavator) shall contact USA at 1-800-422-4133 (Southern California) at least 48 hours prior to starting any excavation work. The contractor will be liable for any damage to Metropolitan's facilities as a result of the construction.

8. Paramount Right

Facilities constructed within Metropolitan's fee properties and/or easements shall be subject to the paramount right of Metropolitan to use its fee properties and/or easements for the purpose for which they were acquired. If at any time Metropolitan or its assigns should, in the exercise of their rights, find it necessary to remove any of the facilities from the fee properties and/or easements, such removal and replacement shall be at the expense of the owner of the facility.

9. Modification of Metropolitan's Facilities

When a manhole or other of Metropolitan's facilities must be modified to accommodate your construction or reconstruction, Metropolitan will modify the facilities with its forces. This should be noted on the construction plans. The estimated cost to perform this modification will be given to you and we will require a deposit for this amount before the work is performed. Once the deposit is received, we will schedule the work. Our forces will coordinate the work with your contractor. Our final billing will be based on actual cost incurred, and will include materials, construction, engineering plan review, inspection, and administrative overhead charges calculated in accordance with Metropolitan's standard accounting practices. If the cost is less than the deposit, a refund will be made; however, if the cost exceeds the deposit, an invoice will be forwarded for payment of the additional amount.

10. Drainage

a. Residential or commercial development typically increases and concentrates the peak storm water runoff as well as the total yearly storm runoff from an area, thereby increasing the requirements for storm drain facilities downstream of the development. Also, throughout the year water from landscape irrigation, car washing, and other outdoor domestic water uses flows into the storm drainage system resulting in weed abatement, insect infestation, obstructed access and other problems. Therefore, it is Metropolitan's usual practice not to approve plans that show discharge of drainage from developments onto its fee properties and/or easements.

b. If water must be carried across or discharged onto Metropolitan's fee properties and/or easements, Metropolitan will insist that plans for development provide that it be carried by closed conduit or lined open channel approved in writing by Metropolitan. Also the drainage facilities must be maintained by others, e.g., city, county, homeowners association, etc. If the development proposes changes to existing drainage features, then the developer shall make provisions to provide for replacement and these changes must be approved by Metropolitan in writing.

11. Construction Coordination

During construction, Metropolitan's field representative will make periodic inspections. We request that a stipulation be added to the plans or specifications for notification of Mr. _____ of Metropolitan's Operations Services Branch, telephone (213) 250-_____, at least two working days prior to any work in the vicinity of our facilities.

12. Pipeline Loading Restrictions

a. Metropolitan's pipelines and conduits vary in structural strength, and some are not adequate for AASHTO H-20 loading. Therefore, specific loads over the specific sections of pipe or conduit must be reviewed and approved by Metropolitan. However, Metropolitan's pipelines are typically adequate for AASHTO H-20 loading provided that the cover over the pipeline is not less than four feet or the cover is not substantially increased. If the temporary cover over the pipeline during construction is between three and four feet, equipment must be restricted to that which

imposes loads no greater than AASHTO H-10. If the cover is between two and three feet, equipment must be restricted to that of a Caterpillar D-4 tract-type tractor. If the cover is less than two feet, only hand equipment may be used. Also, if the contractor plans to use any equipment over Metropolitan's pipeline which will impose loads greater than AASHTO H-20, it will be necessary to submit the specifications of such equipment for our review and approval at least one week prior to its use. More restrictive requirements may apply to the loading guideline over the San Diego Pipelines 1 and 2, portions of the Orange County Feeder, and the Colorado River Aqueduct. Please contact us for loading restrictions on all of Metropolitan's pipelines and conduits.

b. The existing cover over the pipeline shall be maintained unless Metropolitan determines that proposed changes do not pose a hazard to the integrity of the pipeline or an impediment to its maintenance.

13. Blasting

a. At least 20 days prior to the start of any drilling for rock excavation blasting, or any blasting, in the vicinity of Metropolitan's facilities, a two-part preliminary conceptual plan shall be submitted to Metropolitan as follows:

b. Part 1 of the conceptual plan shall include a complete summary of proposed transportation, handling, storage, and use of explosions.

c. Part 2 shall include the proposed general concept for blasting, including controlled blasting techniques and controls of noise, fly rock, airblast, and ground vibration.

14. CEQA Requirements

a. When Environmental Documents Have Not Been Prepared

1) Regulations implementing the California Environmental Quality Act (CEQA) require that Metropolitan have an opportunity to consult with the agency or consultants preparing any environmental documentation. We are required to review and consider the environmental effects of the project as shown in the Negative Declaration or Environmental Impact Report (EIR) prepared for your project before committing Metropolitan to approve your request.

2) In order to ensure compliance with the regulations implementing CEQA where Metropolitan is not the Lead Agency, the following minimum procedures to ensure compliance with the Act have been established:

a) Metropolitan shall be timely advised of any determination that a Categorical Exemption applies to the project. The Lead Agency is to advise Metropolitan that it and other agencies participating in the project have complied with the requirements of CEQA prior to Metropolitan's participation.

b) Metropolitan is to be consulted during the preparation of the Negative Declaration or EIR.

c) Metropolitan is to review and submit any necessary comments on the Negative Declaration or draft EIR.

d) Metropolitan is to be indemnified for any costs or liability arising out of any violation of any laws or regulations including but not limited to the California Environmental Quality Act and its implementing regulations.

b. When Environmental Documents Have Been Prepared

If environmental documents have been prepared for your project, please furnish us a copy for our review and files in a timely manner so that we may have sufficient time to review and comment. The following steps must also be accomplished:

1) The Lead Agency is to advise Metropolitan that it and other agencies participating in the project have complied with the requirements of CEQA prior to Metropolitan's participation.

2) You must agree to indemnify Metropolitan, its officers, engineers, and agents for any costs or liability arising out of any violation of any laws or regulations including but not limited to the California Environmental Quality Act and its implementing regulations.

15. Metropolitan's Plan-Review Cost

a. An engineering review of your proposed facilities and developments and the preparation of a letter response

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giving Metropolitan's comments, requirements and/or approval that will require 8 man-hours or less of effort is typically performed at no cost to the developer, unless a facility must be modified where Metropolitan has superior rights. If an engineering review and letter response requires more than 8 man-hours of effort by Metropolitan to determine if the proposed facility or development is compatible with its facilities, or if modifications to Metropolitan's manhole(s) or other facilities will be required, then all of Metropolitan's costs associated with the project must be paid by the developer, unless the developer has superior rights.

b. A deposit of funds will be required from the developer before Metropolitan can begin its detailed engineering plan review that will exceed 8 hours. The amount of the required deposit will be determined after a cursory review of the plans for the proposed development.

c. Metropolitan's final billing will be based on actual cost incurred, and will include engineering plan review, inspection, materials, construction, and administrative overhead charges calculated in accordance with Metropolitan's standard accounting practices. If the cost is less than the deposit, a refund will be made; however, if the cost exceeds the deposit, an invoice will be forwarded for payment of the additional amount. Additional deposits may be required if the cost of Metropolitan's review exceeds the amount of the initial deposit.

16. Caution

We advise you that Metropolitan's plan reviews and responses are based upon information available to Metropolitan which was prepared by or on behalf of Metropolitan for general record purposes only. Such information may not be sufficiently detailed or accurate for your purposes. No warranty of any kind, either express or implied, is attached to the information therein conveyed as to its accuracy, and no inference should be drawn from Metropolitan's failure to comment on any aspect of your project. You are therefore cautioned to make such surveys and other field investigations as you may deem prudent to assure yourself that any plans for your project are correct.

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17. Additional Information

Should you require additional information, please contact:

Civil Engineering Substructures Section
Metropolitan Water District
of Southern California
P.O. Box 54153
Los Angeles, California 90054-0153
(213) 217-6000

JEH/MRW/lk

Rev. January 22, 1989

Encl.

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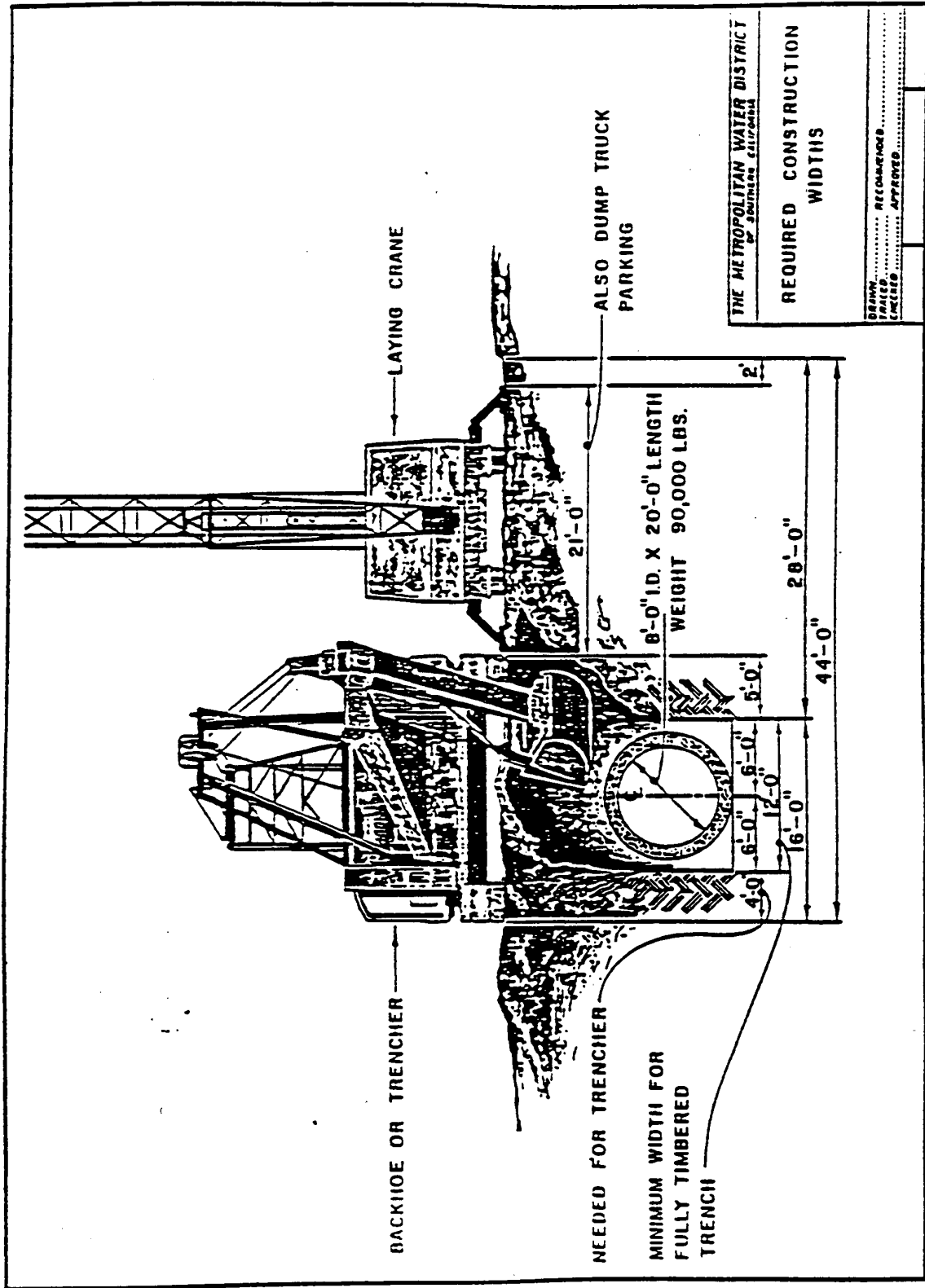


FIGURE 1

NO PERMANENT STRUCTURES PERMITTED

M.W.D. PERMANENT RIGHT OF WAY

NO ROOF OVERHANG PERMITTED

FOOTING MUST NOT
ENCROACH INTO
RIGHT OF WAY

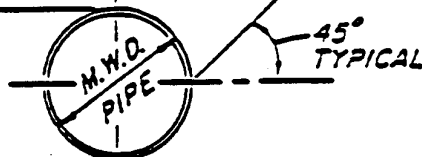
FINISHED
SURFACE

VARIES

VAR

BUILDING
ADJACENT
TO RIGHT
OF WAY

REQUIRED
DEPTH OF
FOOTING



± M.W.D. PIPELINE

NOTE: M.W.D. PIPELINE SIZE, DEPTH, LOCATION
AND WIDTH OF PERMANENT RIGHT OF
WAY VARIES.

THE METROPOLITAN WATER DISTRICT
OF SOUTHERN CALIFORNIA

REQUIREMENTS FOR
BUILDINGS AND FOOTINGS
ADJACENT TO M.W.D.
RIGHT OF WAY

DRAWN: _____ RECOMMENDED: _____
TRACED: _____ CHECKED: _____
APPROVED: _____

FIGURE 2

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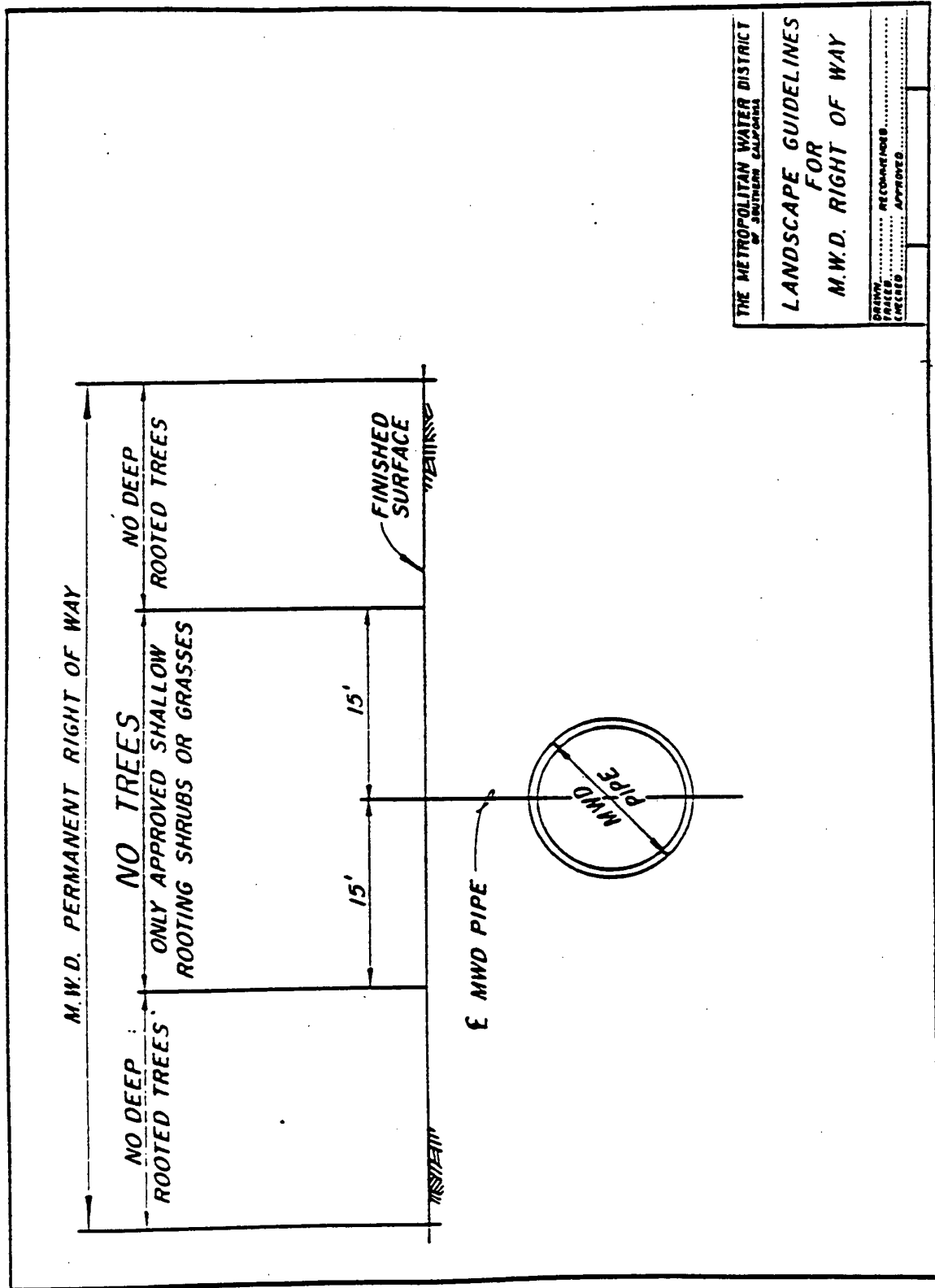


FIGURE 3

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FORM NO. 10-1 (10-1) 10-1 (10-1) 10-1 (10-1)

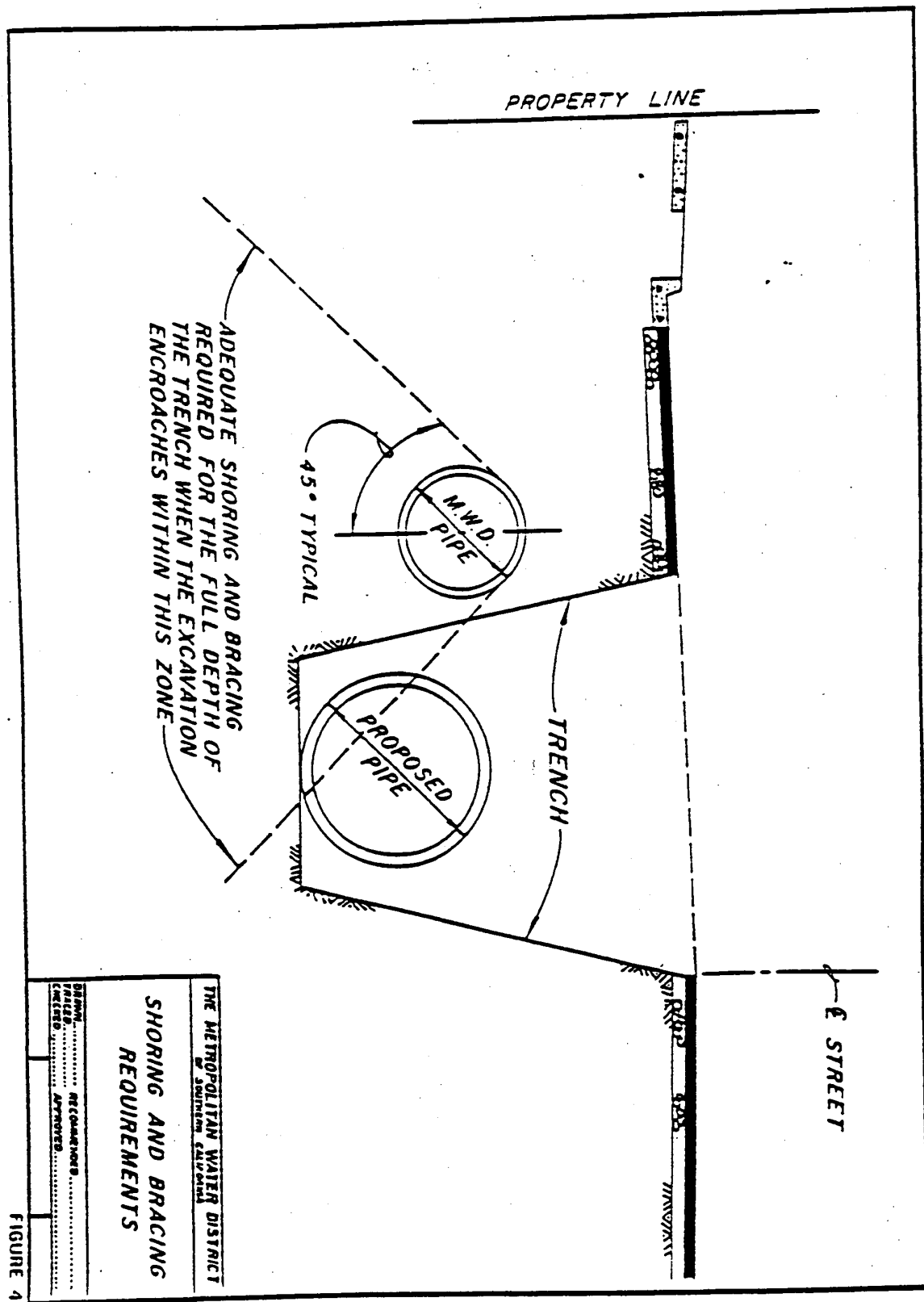
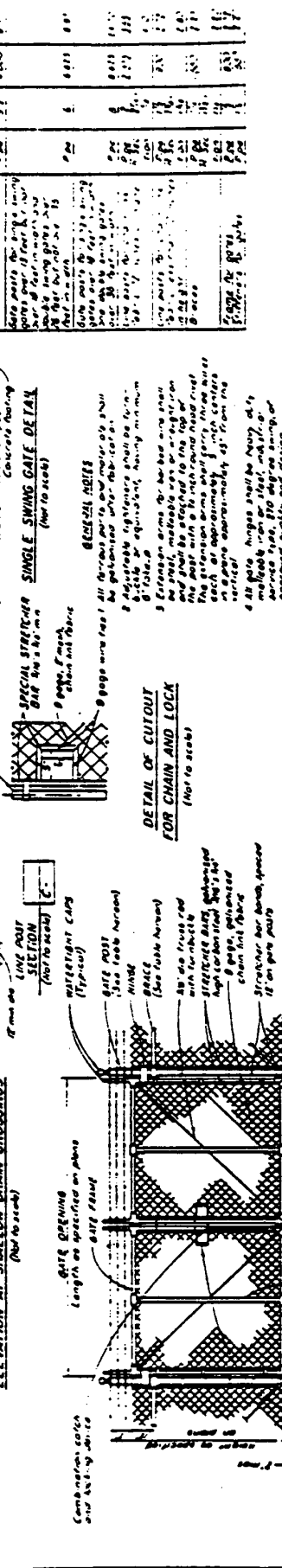
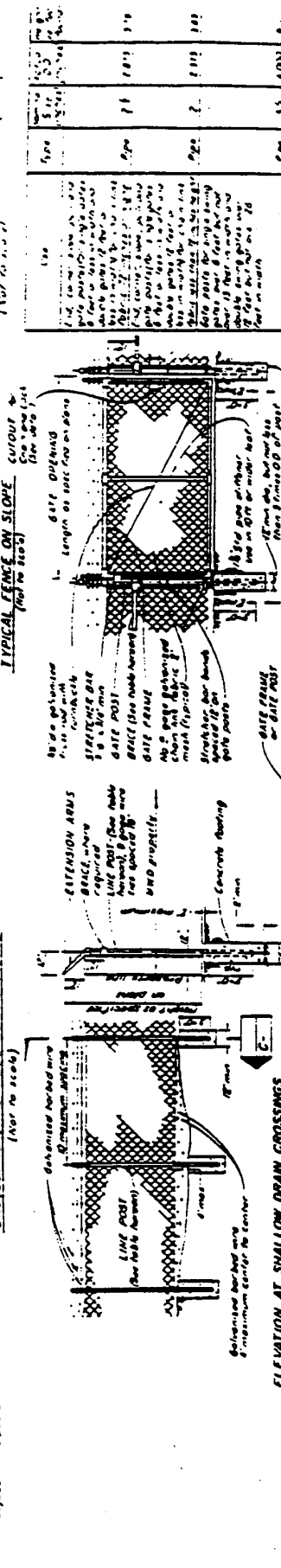
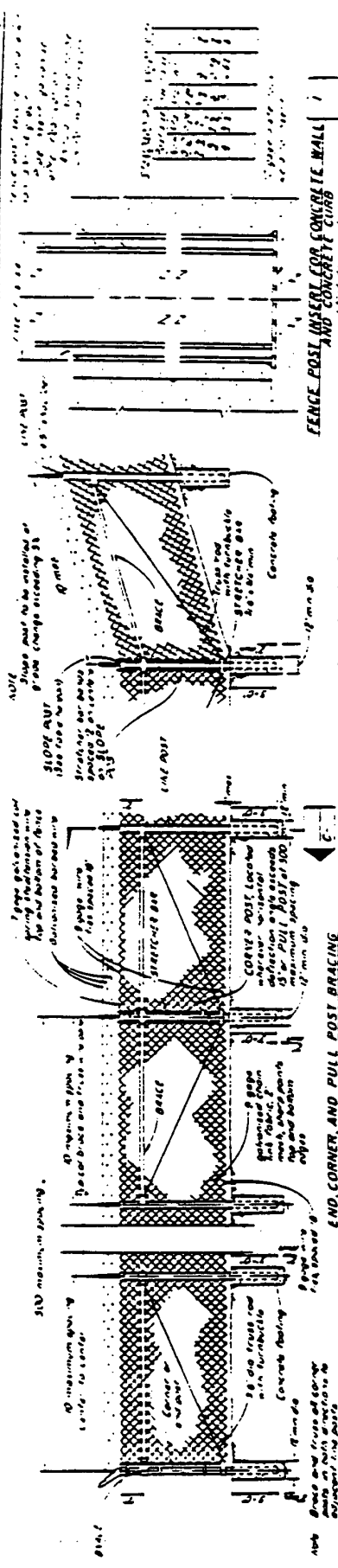


FIGURE 4

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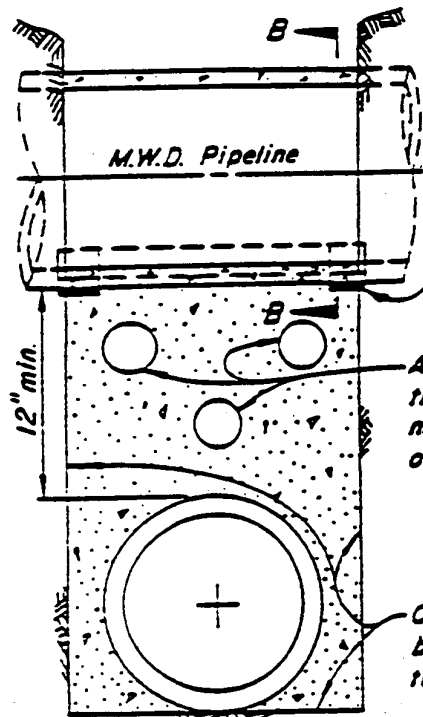
THE METROPOLITAN WATER DISTRICT OF LOS ANGELES

CHAIN LINK FENCE DETAILS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
1. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
2. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
3. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
4. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
5. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
6. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
7. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
8. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
9. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00
10. Chain link fence, 42" high, 12" mesh, galvanized steel, 10' long	10	Linear feet	1.00	10.00

FIGURE 1

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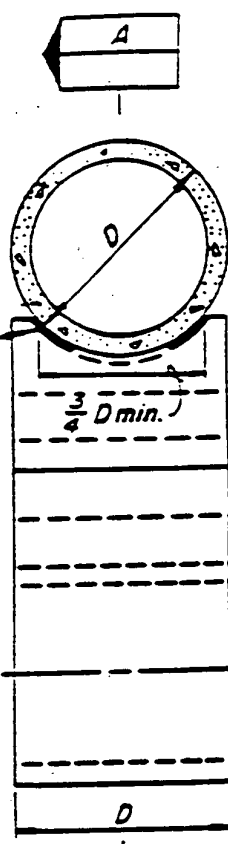


SECTION "A-A"

$\frac{3}{4} \times 6$ " premolded expansion joint filler

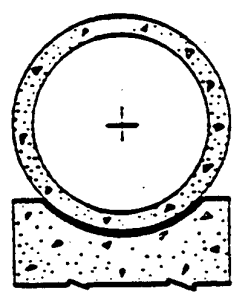
Apertures as directed by the Engineer, total volume not to exceed $\frac{1}{2}$ the volume of the supporting wall

Concrete support wall to be placed against undisturbed ground



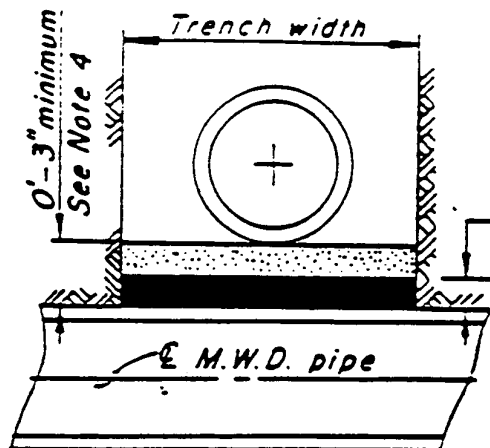
CROSS SECTION

1. Supporting wall shall have a firm bearing on the subgrade and against the side of the excavation.
2. Premolded expansion joint filler per ASTM D-1751-73 to be used in support for steel pipe only.
3. If trench width is 4 feet or greater, measured along centerline of M.W.D. pipe, concrete support must be constructed.
4. If trench width is less than 4 feet, clean sand backfill, compacted to 90% density in accordance with the provisions of ASTM Standard D-1557-70 may be used in lieu of the concrete support wall.

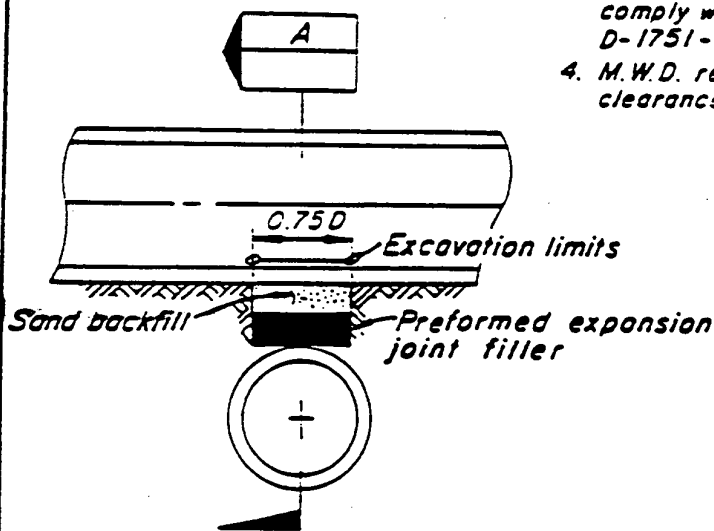


SECTION "B-B"

THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA	
TYPICAL SUPPORT FOR M.W.D. PIPELINE	
DESIGNED BY _____	RECOMMENDED BY _____
TRACED BY _____	CHECKED BY _____
C-9547	



SECTION A



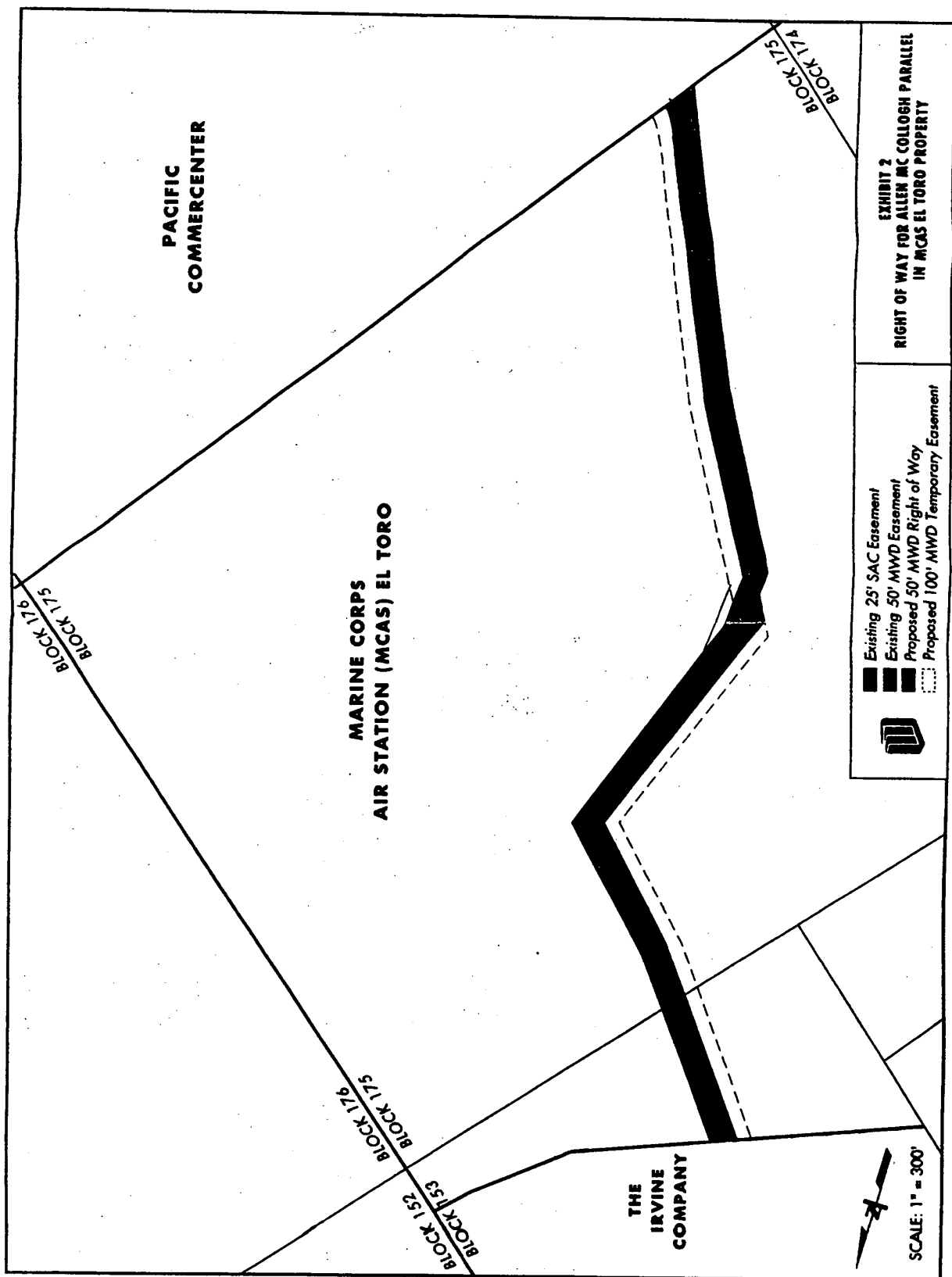
CROSS SECTION

3" Preformed expansion joint filler

NOTES

1. This method to be used where the utility line is 24" or greater in diameter and the clearance between the utility line and M.W.D. pipe is 12" or less.
2. Special protection may be required if the utility line diameter is greater than M.W.D. pipe or if the cover over the utility line to the street surface is minimal and there is 12" or less clearance between M.W.D. pipe and the utility line.
3. Preformed expansion joint filler to comply with ASTM designation D-1751-73.
4. M.W.D. requests 12" minimum clearance whenever possible.

THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA	
TYPICAL EXPANSION JOINT FILLER PROTECTION FOR OVERCROSSING OF M.W.D. PIPELINE	
DRAWN	RECOMMENDED
TRACED	APPROVED
CHECKED	
10-11632	



002061



UNITED STATES MARINE CORPS

MARINE CORPS AIR BASES WESTERN AREA EL TORO

PO BOX 95001

SANTA ANA CA 92709-5001

IN REPLY REFER TO:

11106.1

AQ/Musick

3 Jul 1996

ENVIRONMENTAL MANAGEMENT AGENCY
ATTN MR PAUL LANNING
P O BOX 4048
SANTA ANA CA 92702-4048

NOTICE OF PREPARATION - EXPANSION OF JAMES A MUSICK FACILITY;
RELOCATION OF INTERIM CARE FACILITY; SOUTHEAST SHERIFF'S STATION

Dear Mr. Lanning,

Thank you for the opportunity to review this land use plan which is affected by our operations. The following comments are provided.

The project site is located within the 65 Community Noise Equivalent Level (CNEL). According to the Airport Environs Land Use Plan (AELUP), "Institutional uses . . . are normally unacceptable in this zone". The existing facility is grandfathered and is, therefore, considered an acceptable use. Expansion would be incompatible with the adopted Airport Installations Airport Environs Land Use Plan (AELUP) of the Airport Land Use Commission (ALUC) of Orange County.

Additionally, a portion of this site lies within Accident Potential Zone I (APZ-I). In accordance with the ALUC ". . . the Commission would find unacceptable any land use where lot coverage exceeded fifty (50) percent or where more than one hundred (100) persons were placed for long periods in a structure. . . All forms of residential use are unacceptable in this zone. . ."

Recommend this project be forwarded to the ALUC for review.

For additional information please contact Ms. Desiree Garrison at (714) 726-3702.

Sincerely,

D. P. PENDER

Colonel, U.S. Marine Corps

Community Plans and Liaison Officer

By direction of the Commander

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THE IRVINE COMPANY

July 8, 1996

Mr. Paul Lanning
EMA Environmental & Project Planning
300 N. Flower Street
Santa Ana, CA 92701

VIA FAX TRANSMITTAL

Dear Mr. Lanning:

We offer the following response to your request for input to the Notice of Preparation for Draft EIR #564, Expansion of James A. Musick Facility. We realize that this is not the appropriate time or vehicle for comment on the project proposal itself. Therefore, this letter focuses only on specific issues for inclusion in the DEIR. It should not be construed as support or opposition to the project itself. We will offer separate comments on the proposed project during the public review process.

1. **Compatibility/Aesthetics:** As indicated in the "checklist," the impacts of the proposed facility on existing and planned uses in the area are potentially significant. If the project is to proceed, we urge the County to consider all possible forms of mitigation to reduce conflicts and facilitate integration of the facility in the fabric of the area.

As it relates to potential impacts to adjacent Irvine Spectrum areas, we ask that the following mitigation measures be included:

- o landscaped setbacks along Alton Parkway Extension and the southwestern boundary comparable to Spectrum; and
 - o architectural forms, colors and materials similar to Spectrum for those structures which are visible from off-site.
2. **Safety/Security:** The DEIR should fully assess potential security and safety problems the project could cause in surrounding areas and identify how such potential problems can be eliminated or minimized by design and/or operational mitigation measures.
 3. **Traffic and Transportation:**
 - A. Page 5 of the environmental checklist indicates that Alton Parkway will be extended to at least the access point to the site in conjunction with project development. No exhibit is provided in the NOP to identify specifically where this access point will be constructed. It seems that the expansion should be treated similar to typical

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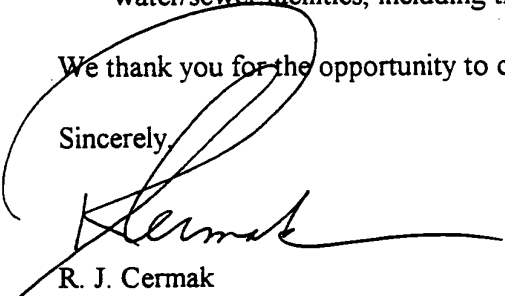
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development projects and, therefore, should be responsible for at least half width improvements adjacent to the full frontage of the site rather than only that portion between Irvine Boulevard and the site access.

- B. The proposed project depends upon the existing circulation system which has been implemented by The Irvine Company, various Irvine Spectrum assessment districts and fee districts. The project traffic study should identify the impacts of the proposed project on the existing circulation system utilizing existing circulation system performance levels and the corresponding fair share responsibility of the project to fund improvements needed to mitigate project impacts and preserve capacity created thus far by the existing Irvine Spectrum circulation system.
4. **Drainage/Water Quality:** The DEIR should address regional drainage issues, including concepts for regional flood control facilities through or downstream from the project site including the San Diego Creek, Borrego Wash and Serrano Creek. The type of channel improvements, habitat impacts and mitigation, potential increase in drainage run-off from the proposed project, and the impacts to downstream capacity should be assessed and mitigated as part of the DEIR. The DEIR should likewise evaluate the impacts upon regional water/sewer facilities, including the San Diego trunk sewer.

We thank you for the opportunity to comment on this NOP.

Sincerely,



R. J. Cermak
Sr. Director
Urban Planning & Design

RC/jd

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ORANGE
COUNTY
BICYCLE
COALITION

630 S. Glassell - Suite 100, Orange, CA 92666 (714)288-9130

3 July 1996

Paul Lanning
OCEMA
Environmental & Project Planning
300 N. Flower Street, Room 321
Santa Ana, CA 92702

re: EIR No. 564

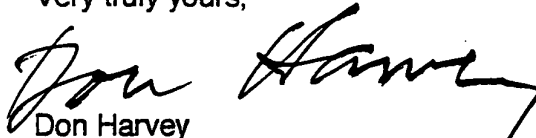
Dear Mr. Lanning:

It appears that the Orange County Bicycle Coalition will be unable to send a representative to the subject scoping meeting, to be held on July 8, 1996.

Nevertheless, OCBC requests that any street modification in connection with the above EIR include Class II bike lanes.

Thank you for considering this request. Any questions or comments may be directed to the undersigned at (714) 288-9130.

Very truly yours,


Don Harvey
Executive Director, OCBC

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To promote bicycling as an everyday form of transportation and recreation

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North Irvine Villages Association

Environmental Management Agency
P. O. Box 4048
Santa Ana, California 92702-4048
Attention: Mr. Paul Lanning

July 1, 1996

Re.: Notice of Preparation DEIR # 564

Dear Mr. Lanning:

The Notice of Preparation [NOP] covers essentially three projects: (1) Expansion of James A. Musick Facility; (2) Relocation of Interim Care Facility; and (3) Southeast Sheriff's Station. NIVA's comments concern primarily the "Expansion of the James A. Musick Facility" or the minimum security prison located in the County and within the northeast portion of Irvine's Sphere of Influence. As a sidenote should you not be familiar with NIVA [North Irvine Villages Association], NIVA is an association of eighteen homeowners associations located in north Irvine.

(1) [Page 2] In contrast to the repeated reference in the NOP to an expansion, it is NOT simply an expansion of the facility but more critically and accurately depicted as a CONVERSION of the facility from a minimum security to maximum security. A conversion has many more significant implications than simply an expansion.

(2) Regardless of the justification of the need as stated in the NOP based on jurisdictional location of the arrests, the location from which the element originates is also a factor to be reckoned. If certain areas of the County "generate" a greater number of the criminals, why should not those particular areas bear the burden of the additional jails? Besides, it will make the journey shorter for visiting relatives.

(3) [Page 3] The release program recently implemented by Sheriff Gates in response to jail "overcrowding" may have seriously decreased the deterrent effect and may even induce, so to speak by the lack of meaningful threat of incarceration, repeated violent offenses/crimes, i.e., the release program may have been the impetus to an escalating "crime spiral" indicated by the increased crime rate and numbers of criminals.

(4) The contemplated facilities do not indicate any provision for the inmates to "earn their living" but rather a continuation of the current practice of furnishing inmates with "R&R" from their stressful criminal livelihood. There ought to be some consideration given to visionary programs which not only provide incarceration but reduce the cost to the taxpayer.

(5) What types and how many employees are expected to work at the jail in the maximum shift period? There is no indication in the NOP. What

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July 1, 1996

amount of the 1,525 parking spaces will be provided for employees versus visitors?

(6) Is it definite that the old facilities will be demolished or is that still only an option? If the latter, no definitive statement can be posed about the continuation of agricultural activities [Page 12] and inclusive agriculture farm land via "relocation".

(7) [Page 6 & 11] We are concerned about the "release" process and the potential of having ex-cons released into our community on a regular basis especially if only a very small fraction come from the Irvine/Lake Forest area. We believe the prisoners should be returned to the closest release facility to their "home" for release.

(8) [Page 13] Is it merely oversight or does the omission of the County territory between Irvine and Tustin mean that the proposed Sheriff Station would not service this territory even though in relatively close proximity?

(9) [Page 6] Does the statement regarding "reasonably foreseeable future phases of this project" imply the possibility of additional expansion beyond the currently described facilities in the NOP for 7,680 inmates? Is this statement included so that in the future the County can allude to having "forewarned" the community? Mindful, the explanation on Issue I(a) indicates that the County never meant to deceive the Musick facility neighbors into any false sense of understanding and therefore any reliance on Musick remaining a minimum security facility was a self-generated allusion since "...there has been considerable discussion in the past about converting the Musick facility to a more intensive jail facility". Of course, how long ago did this discussion start; who were the perpetrators of the discussions and supporters of any proposals; and did all understand "intensive" to mean both an increase in size and a conversion to a higher security facility?

(10) What type of perimeter fencing will be used: chain-link, concrete wall, etc? How high will this fence be? How close will the fencing be to the public roadways -- particularly Alton Parkway and Trabucco Road? What sort of landscaping will be used to minimize the visual impact?

(11) [Page 11] Especially since pretrial inmates will be housed at the facility, there will be daily inmate busing to the Santa Ana Courthouse. The routing of all such buses should be by shortest path to the I5 freeway to Santa Ana rather than a route over arterials through the residential communities of Irvine, Tustin, and other westerly cities.

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July 1, 1996

(12) What are the anticipated visiting hours for inmates and from experience what amount of daily traffic can be expected for the visitors?

(13) Are buildings of 4-stories or 45 feet high in conflict with the El Toro MCAS reuse proposals for a commercial airport? What about security lighting standards/towers or any towering water tank required for fire protection? What about any antenna tower for the Sheriff Station? What would be the normally expected height limitation in this proximity to an airport runway? It is obvious that these buildings will lie to some extent in the general eastern takeoff pattern for Runway 25L. Will the County be placed in a position of either considerable expense for noise abatement or worse the abandoning of the site due to the noise. [Issue VII(b)] Will the County be liable for physiological damage to the prisoners due to knowingly incarcerating prisoners under an airport takeoff pattern with potentially high noise levels?

(14) Is the proposed presence of a Sheriff Station expected to give some degree of a sense of security? If funding for the Station never becomes available, what is the fallback alternative for furnishing this security?

(15) What is the anticipated maximum inmate-to-guard ratio for the facility at its minimum-staffed shift? How does this compare to other similar facilities in the State?

(16) What provisions and features will be incorporated to deal with possible escapes? How will communications of an escape be implemented to assure timely and effective notice to the public?

(17) Issue I(d): The fact that the planning for the El Toro MCAS Land Reuse will consider the jail expansion and vice versa does not mean that the two will not impact each other but merely that the impacts ought to be identifiable. The statement of "no impact in this issue area" in the NOP is without merit.

(18) Issue V(d): For security, no on-street parking should be allowed in the vicinity of the jail. Adequate on-site parking ought to be provided. The determination of the number and adequacy should be documented in the EIR.

(19) Issue VIII(b) and I(b): The construction activity and the security lighting for the proposed facility can have a serious impact on the adjacent habitat reserve and the indigenous birds and animals.

(20) Issue IX (a) & (b): Since the jail buildings will be designed to appear as industrial buildings, will they be landscaped similar to the

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Mr. Paul Lanning, EMA

- 4 -

July 1, 1996

surrounding industrial/commercial buildings? How will perimeter security fencing fit into this scene? Will concertina razor or barbed wire be used and, if so and visible from public areas, how will the negative visual impact be mitigated?

(21) Issue IX(d): What sort of security lighting will be used and how will the lighting be "highly confined"? Will the glare also be mitigated especially if the light standards are of significant height? This might be a major concern should a commercial airport come about at El Toro MCAS.

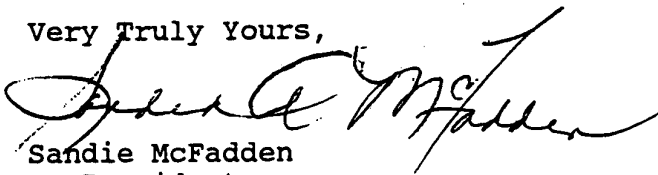
(22) Will guard towers be used? If so, will they be visible from public areas? How will this visual impact be mitigated?

(23) What is the escape history for similar facilities and consequences on adjoining neighborhoods? What procedures are anticipated which will be implemented in the event of an escape to assure protection of neighbors?

(24) Land use for educational institutions is indicated in both Alternate A and B for use of the El Toro MCAS reuse proposals. For A and B, these institutional sites would be only about 0.5 and 0.2 miles, respectively, from the Musick facility. The expansion plans for the jail will have a major impact on the appropriateness and desirability of the institutional sites. There is also a conference meeting center proposed in Alternate B which would be across the street from the Musick facility. What impacts are expected on this proposed center by expansion of the jail? Offhand, it would appear that the jail expansion would have serious implications and impacts on the practicality of the proposed land re-uses for the El Toro MCAS.

NIVA appreciates receiving a copy of the NOP and the opportunity to express our concerns and continued receipt of information on the progress of the environmental/planning efforts. We look forward to the responses to our concerns and receipt of a copy of the draft EIR. If possible, NIVA would very much like to receive two copies of the draft. Please notify us of the schedule, time and place for the public hearings.

Very Truly Yours,


Sandie McFadden
President

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JUL 19 1996

PETE WILSON, Governor

DEPARTMENT OF FISH AND GAME

330 Golden Shore, Suite 50
Long Beach, California 90802
(310) 590-5113

EMA



July 15, 1996

Mr. Paul Lanning
Orange County Environmental
Management Agency
P.O. Box 4048
Santa Ana, California 92702-4048

Dear Mr. Lanning:

**Notice of Preparation of Draft Environmental Impact Report
Expansion of James A. Musick Interim Care Facility
SCH 96061024, Orange County**

The Department of Fish and Game (Department) appreciates this opportunity to comment on the above-referenced project, relative to impacts to biological resources. To enable Department staff to adequately review and comment on the proposed project, we recommend the following information be included in the Draft Environmental Impact Report.

1. A complete assessment of the flora and fauna within and adjacent to the project area, with particular emphasis upon identifying endangered, threatened, and locally unique species and sensitive habitats.
 - a. A thorough assessment of rare plants and rare natural communities, following the Department's May 1984 Guidelines for Assessing Impacts to Rare Plants and Rare Natural Communities (Attachment 1).
 - b. A complete assessment of sensitive fish, wildlife, reptile, and amphibian species. Seasonal variations in use of the project area should also be addressed. Focused species-specific surveys, conducted at the appropriate time of year and time of day when the sensitive species are active or otherwise identifiable, are required. Acceptable species-specific survey procedures should be developed in consultation with the Department and the U.S. Fish and Wildlife Service.
 - c. Rare, threatened, and endangered species to be addressed should include all those which meet the California Environmental Quality Act (CEQA) definition (see CEQA Guidelines, § 15380).

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Mr. Paul Lanning
July 15, 1996
Page Two

- d. The Department's California Natural Diversity Data Base in Sacramento should be contacted at (916) 327-5960 to obtain current information on any previously reported sensitive species and habitat, including Significant Natural Areas identified under Chapter 12 of the Fish and Game Code.
2. A thorough discussion of direct, indirect, and cumulative impacts expected to adversely affect biological resources, with specific measures to offset such impacts.
 - a. CEQA Guidelines, §15125(a), direct that knowledge of the regional setting is critical to an assessment of environmental impacts and that special emphasis should be placed on resources that are rare or unique to the region.
 - b. Project impacts should be analyzed relative to their effects on off-site habitats. Specifically, this should include nearby public lands, open space, adjacent natural habitats, and riparian ecosystems. Impacts to and maintenance of wildlife corridor/movement areas, including access to undisturbed habitat in adjacent areas, should be fully evaluated and provided.
 - c. A cumulative effects analysis should be developed as described under CEQA Guidelines, §15130. General and specific plans, as well as past, present, and anticipated future projects, should be analyzed relative to their impacts on similar plant communities and wildlife habitats.
3. A range of alternatives should be analyzed to ensure that alternatives to the proposed project are fully considered and evaluated. A range of alternatives which avoid or otherwise minimize impacts to sensitive biological resources should be included. Specific alternative locations should also be evaluated in areas with lower resource sensitivity where appropriate.
 - a. Mitigation measures for project impacts to sensitive plants, animals, and habitats should emphasize evaluation and selection of alternatives which avoid or otherwise minimize project impacts. Off-site compensation for unavoidable impacts through acquisition and protection of high-quality habitat elsewhere should be addressed.

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Mr. Paul Lanning
July 15, 1996
Page Three

- b. The Department considers Rare Natural Communities as threatened habitats having both regional and local significance. Thus, these communities should be fully avoided and otherwise protected from project-related impacts (Attachment 2).
 - c. The Department generally does not support the use of relocation, salvage, and/or transplantation as mitigation for impacts to rare, threatened, or endangered species. Department studies have shown that these efforts are experimental in nature and largely unsuccessful.
4. If the project has the potential to adversely affect species of plants or animals listed under the California Endangered Species Act (CESA), either during construction or over the life of the project, a CESA-Memorandum of Understanding (CESA-MOU) must be obtained under §2081 of the Fish and Game Code. CESA-MOU's are issued to conserve, protect, enhance, and restore State-listed threatened or endangered species and their habitats. Early consultation is encouraged, as significant modification to a project and mitigation measures may be required in order to obtain a CESA-MOU.
- a. Biological mitigation proposals should be of sufficient detail and resolution to satisfy the requirements for a CESA-MOU.
 - b. A Department-approved Mitigation Agreement and Mitigation Plan are required for plants listed as rare under the Native Plant Protection Act.
5. The Department opposes the elimination of watercourses and/or their channelization or conversion to subsurface drains. All wetlands and watercourses, whether intermittent or perennial, must be retained and provided with substantial setbacks which preserve the riparian and aquatic values and maintain their value to on-site and off-site wildlife populations.
- a. The Department has direct authority under Fish and Game Code §1600 et. seq. in regard to any proposed activity which would divert, obstruct, or affect the natural flow or change the bed, channel, or bank of any river, stream, or lake. Early consultation is recommended, since modification of the proposed project may be required to avoid or reduce impacts to fish and wildlife resources.

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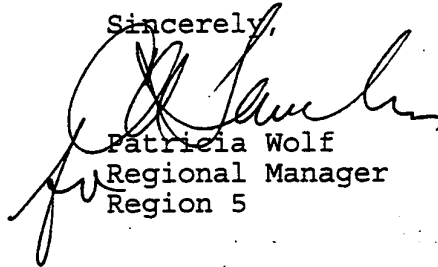
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Mr. Paul Lanning
July 15, 1996
Page Four

- b. A discussion of potential adverse impacts from any increased runoff, sedimentation, soil erosion, and/or urban pollutants on streams and watercourses on or near the project site, with mitigation measures proposed to alleviate such impacts must be included.

Thank you for this opportunity to comment. Questions regarding this letter and further coordination on these issues should be directed to Mr. Scott Harris, Wildlife Biologist, at (310) 590-5100.

Sincerely,



Patricia Wolf
Regional Manager
Region 5

Attachments

cc: Mr. Scott Harris
Department of Fish and Game
Long Beach, California

Mr. Ray Ally
Department of Fish and Game
Long Beach, California

Mr. Jim Dice
Department of Fish and Game
San Diego, California

Ms. Terri Dickerson
Department of Fish and Game
Laguna Niguel, California

U.S. Fish and Wildlife Service
Carlsbad, California

U.S. Army Corps of Engineers
Los Angeles, California

State Clearinghouse
Sacramento, California

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**CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD
SANTA ANA REGION**

3737 MAIN STREET, SUITE 500
RIVERSIDE, CA 92501-3339
PHONE: (909) 782-4130
FAX: (909) 781-6288

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Environmental & Project Planning

July 3, 1996

Paul Lanning
OCEMA
P.O. Box 4048
Santa Ana, CA 92702-4048

**NOTICE OF PREPARATION (NOP) OF A DRAFT ENVIRONMENTAL IMPACT REPORT FOR
THE EXPANSION OF THE JAMES A. MUSICK FACILITY; INTERIM CARE FACILITY SCH #
96061024**

Dear Mr. Lanning:

We have reviewed the NOP for this project. In response to the statutory concerns of this office, the Draft EIR should address the following:

I. Water Quality and Beneficial Uses**A. Potential impacts of the proposed project on surface and groundwater quality:**

- Any impacts that could cause impairment of narrative or numerical water quality objectives contained in the 1995 Water Quality Control Plan for the Santa Ana River Basin need to be addressed
- Construction activities (including grading) that could result in water quality impacts.
- Soil characteristics related to water quality (potential for erosion and subsequent siltation, increase or decrease in percolation).
- Impacts of toxic substances handling and/or disposal (if appropriate).

B. Potential impacts of the proposed project on surface and groundwater beneficial uses.

- If the project impacts any riparian or wetland habitats, a complete description of the impacts, acreage of the impacts, and any proposed mitigation should be provided

C. Mitigation of Adverse Impacts.**RECEIVED
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EWA**

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II. Water, Wastewater and Solid Waste Service

A. Water

- Availability of water for the proposed project.
- Existing infrastructure: location of water supply lines, tie-ins.
- Applications or permits required for water acquisition.
- Impact or calculated project demand on water supply.

B. Waste Disposal/Treatment

- Types and amounts of waste materials generated by project.
- Proposed waste treatment and disposal methods. Existing infrastructure:
 - * treatment facilities: location, current capacity, treatment standards, master treatment facilities expansion plan (if appropriate)
 - * treatment plant collection system: location of major trunk lines and tie-ins, current capacity
 - * disposal facilities: location, capacity
- Applications or permits required to implement waste disposal.
- Impact of calculated project waste volume on capacity of existing and proposed treatment and disposal facilities.

III Permits

- If no new point discharges are created from the proposed project the stormwater runoff will be regulated by an areawide stormwater discharge permit under the National Pollutant Discharge Elimination System (NPDES).
- A notice of intent (NOI) with the appropriate fees for coverage of the project under the General Construction Activity Storm Water Runoff Permit must be submitted to the State Water Resources Control Board at least 30-days prior to initiation of construction activity at the site. This is required for any construction activity over five acres in area.

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July 3, 1996

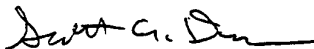
- If a Section 404 permit from the Army Corp of Engineers is required for this project, a Section 401 Water Quality Certification is also required from the Regional Board. This certification verifies that the federal 404 permit complies with the state's water quality standards. Please note that the time frame for the issuance of a permit can be as long as 180 days from the time the permit application is accepted as complete.

- A National Pollutant Discharge Elimination System (NPDES) permit for any discharge of wastes to surface waters or a Waste Discharge Requirements for any discharge of wastes to land is required by the Regional Board.

- If reclaimed water is to be used in the proposed project, Water Reclamation Requirements will have to be issued by the Regional Board.

We look forward to reviewing the Draft EIR when it becomes available. If you have any questions, please call me at (909) 782-4241.

Sincerely,



Scott A. Dawson
Environmental Specialist
Planning Section

cc: Chris Belsky - State Clearinghouse

002076

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EMA



"Preparing today's students to
succeed in tomorrow's world."

July 8, 1996

Paul Lanning
EMA/Environmental & Project Planning Division
300 N. Flower Street, Room 321
Santa Ana, CA 92702

Re: EIR #564, Expansion of Existing Jail Facility

Dear Mr. Lanning:

This letter is in response to the "Notice of Scoping
Meeting" for the above referenced EIR to be held July 8,
1996.

Please be advised that the Saddleback Valley Unified School
District reserves the right to submit comments regarding the
service availability/capacity information request as part of
the EIR process, and will respond in writing prior to July
24, 1996.

Thank you very much.

Sincerely,

Robert J. Cornelius
Assistant Superintendent,
Business

MLS:dar

002077

**SADDLEBACK VALLEY
UNIFIED SCHOOL DISTRICT**

25631 DISEÑO DRIVE
MISSION VIEJO, CALIFORNIA 92691
(714) 586-1234

SUPERINTENDENT
Dr. Peter A. Hartman

BOARD OF EDUCATION
Dore J. Gilbert, M.D., President
Marcia L. Birch, Vice President
Frank L. Ury, Clerk
Bobbie Cline, Member
Debbie Hughes, Member

00790

DEPARTMENT OF TRANSPORTATION

DISTRICT 12
2501 PULLMAN STREET
SANTA ANA, CA 92705



July 11, 1996

Paul Lanning
Environmental Planning
Environmental Management Agency
P.O. Box 4048
Santa Ana, CA 92702-4048

File: IGR/CEQA
SCH #

Subject: Expansion of James A. Musick Facility, Interim Care Facility and Southeast Sheriff's Station

Dear Mr. Lanning:

Thank you for the opportunity to review and comment on the Notice of Preparation for the expansion of the County of Orange's existing jail facilities: James A. Musick Facility, Interim Care Facility and the Southeast Sheriff's Station. The proposed project location is southeasterly of the future extension of Alton Parkway at the intersection of Trabuco Road and Irvine Boulevard in the unincorporated area of Orange County. Caltrans District 12 is a reviewing agency and has the following comments for your consideration.

The Draft Environmental Impact Report (DEIR) should contain a complete analysis of the proposed project's impact on the traffic circulation in that vicinity, especially how additional traffic may impact the on-and off-ramps at Alton Parkway and Bake Parkway on both northbound and southbound on I-5 and I-405.

We appreciate the opportunity to comment on this document. If you have any questions, please call Luisa Easter at (714) 724-2971.

Sincerely,

Robert F. Joseph, Chief
Advance Planning Branch

cc: Tom Loftus, OPR
Ron Helgeson, HDQTRS Planning
Tom Persons, HDQTRS Traffic Operations
Judy Heyer, System Planning and Public Transportation
Tim Buchanan, Traffic Operations

9661 51 706

002078

00791



IRVINE RANCH WATER DISTRICT

15600 Sand Canyon Ave., P.O. Box 57000, Irvine, CA 92619-7000 (714) 453-5300

July 10, 1996

L0710RAD
ECO

EMA Environmental and Project Planning
Attn: Paul Lanning
P.O. Box 4048
Santa Ana, CA 92762-4048

Subject: Notice of Preparation of Draft Environmental Impact Report for Expansion of
James A. Musick Facility; Relocation of Interim Care Facility;
Southeast Sheriff's Station

Dear Mr. Lanning:

Irvine Ranch Water District (IRWD) has reviewed the Notice of Preparation (NOP) for the subject project. In addition, IRWD staff met with Ms. Andriette Culbertson and Mr. Michael P. Rudinica on July 1, 1996 who represented the County's interests in the project.

The project is within the IRWD service area. IRWD presently provides domestic water and wastewater service to the site and has also previously provided untreated nonpotable water. Domestic water is served to the site through two connections located at the northwest corner of the property (see enclosed maps). The presently inactive connection for untreated nonpotable water is also located in this area. Sewer service is provided through a single connection located along the southern edge of the property. As shown on the maps, IRWD has additional facilities located in the vicinity of the subject property. All IRWD facilities must be protected in place or relocated (with District approval) during expansion activities on the Musick site. IRWD intends to provide water and wastewater service to future uses on the project site as approved by appropriate jurisdictions and the IRWD Board of Directors.

The preliminary evaluation of the water and wastewater demands for the proposed project indicate a need for additional offsite facilities to adequately serve the "worst case" project as described in the NOP. Specifically, IRWD has concerns about the capacity of the existing sewer system downstream of the site to accommodate anticipated wastewater flows. However, as recommended in the NOP and discussed with Ms. Culbertson and Mr. Rudinica, the expansion of use on the site is likely to occur in three phases, with the first phase adding approximately 864 people. In addition, Mr. Rudinica indicated he has data showing sewage generation rates significantly lower than those assumed by IRWD. These factors may reduce or eliminate the need for additional facilities, particularly as they relate to the proposed initial phase of expansion.

Domestic water facilities appear to be adequate to serve the project through its final phases. However, depending on ultimate design of the expansion and the on-site facilities, it may be prudent to consider relocation of service(s) to increase system reliability (i.e., provide a looped

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EMA

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Mr. Paul Lanning
EMA
July 10, 1996
Page 2

system). In addition, the use of capacity exceeding the present IRWD/County agreement for the Musick site (see below) will require the purchase of additional capacity by the County.

As noted above, IRWD previously provided the Musick site with nonpotable water to serve agricultural uses. The connection has since been abandoned due to damage to the pipeline and the prohibitive cost of repair, and IRWD replaced the service with the second potable service mentioned above. Nonpotable water including untreated water and reclaimed wastewater is used throughout IRWD for landscape and agricultural irrigation, recreational impoundments and dual-plumbed buildings for flushing toilets and urinals. Presently, reclaimed water service is unavailable to the site. However, such service may become available in the future, or the nonpotable connection may be reactivated. Due to the likelihood of a nonpotable source becoming available in the future, IRWD requests the DEIR evaluate the use of nonpotable water for the remaining twenty-four acres of agriculture, any landscape irrigation, and toilet/urinal flushing in new buildings through construction of an onsite dual distribution system and dual plumbing of all buildings. Other standard water conservation measures such as low water use fixtures and drought tolerant landscape should also be included in the project.

IRWD and the County have existing agreements for water and sewer service to the Musick site. The "Agreement for Acquisition of Interim and Permanent Sewer Service by County of Orange for James A. Musick Facility from Irvine Ranch Water District" allows a daily discharge of 0.03 million gallons per day (MGD) of sewage. IRWD records indicate the facility currently exceeds that flow. The "Agreement for Acquisition of Potable Water Service from Irvine Ranch Water District for James A. Musick Facility" allows for capacity in IRWD facilities to enable delivery of 0.27 cubic feet per second (cfs) of domestic water. The agreement was based on a planned population of 1,500 inmates plus staff. Both the sewer and water agreements will need to be amended, or replaced by a new agreement, to reflect expansion of the site, including proposed project phasing.

IRWD appreciates the opportunity to comment on the NOP and looks forward to issuance of the DEIR. IRWD requests a copy as soon as it becomes available for review. In addition to this review, our staff will review the forthcoming information to be provided by Mr. Rudinica and revise the preliminary evaluation of demands, as appropriate. Should you have any questions or require additional information in the interim, please contact Dick Diamond, Senior Planner, at (714) 453-5594.

Yours Truly,

IRVINE RANCH WATER DISTRICT

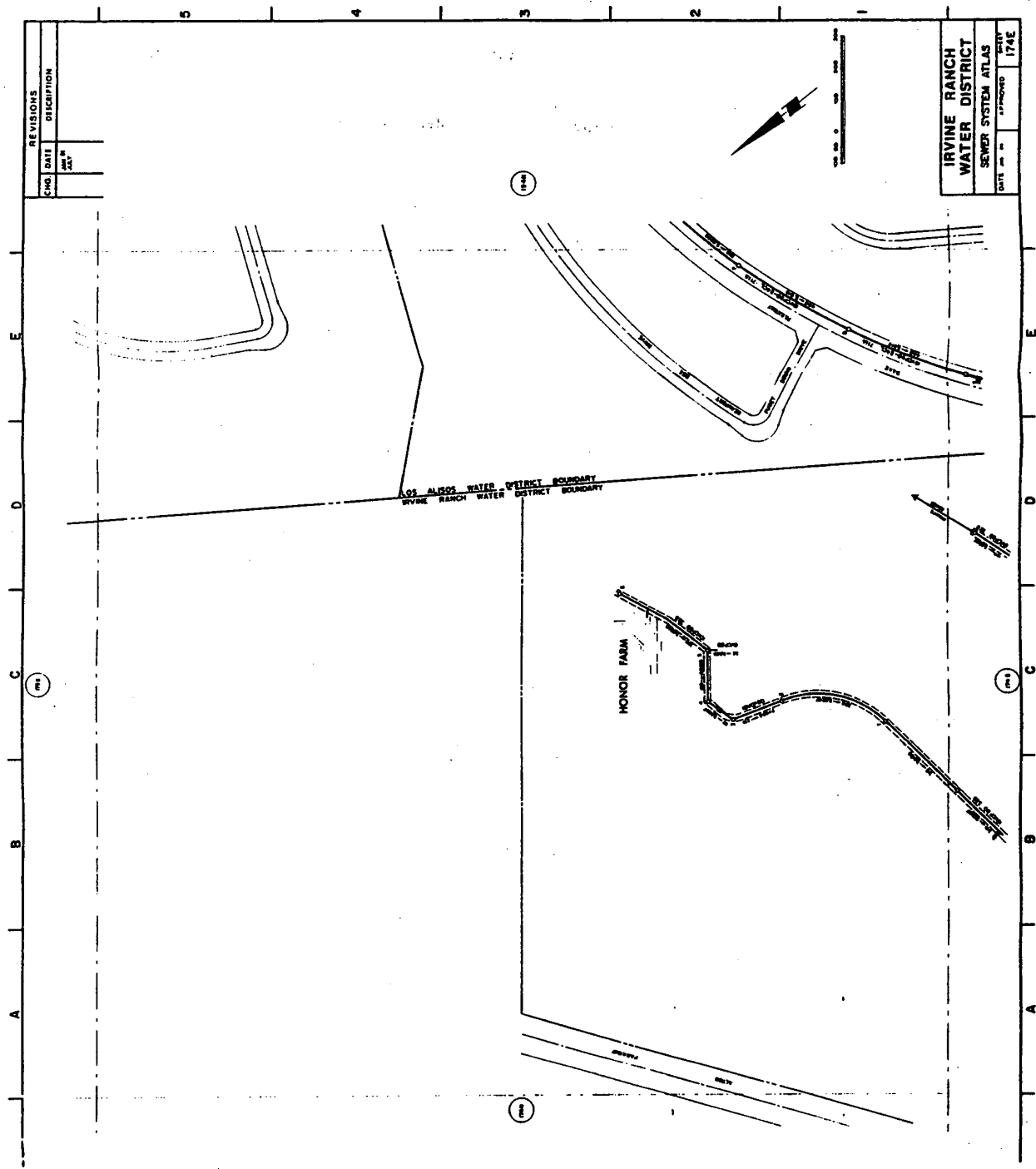


Robert R. McVicker, P.E.
Principal Engineer

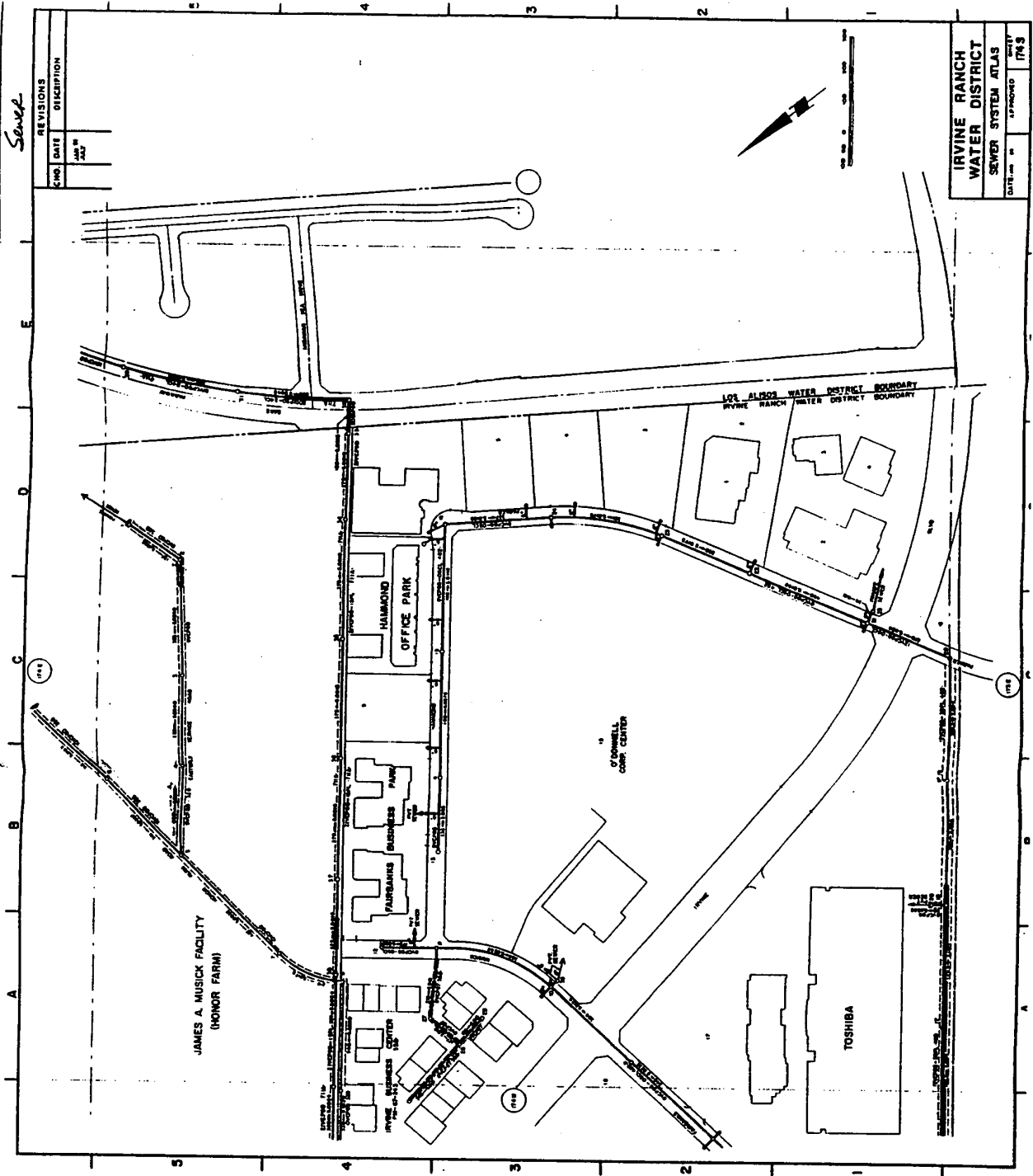
RRM/RAD/RP

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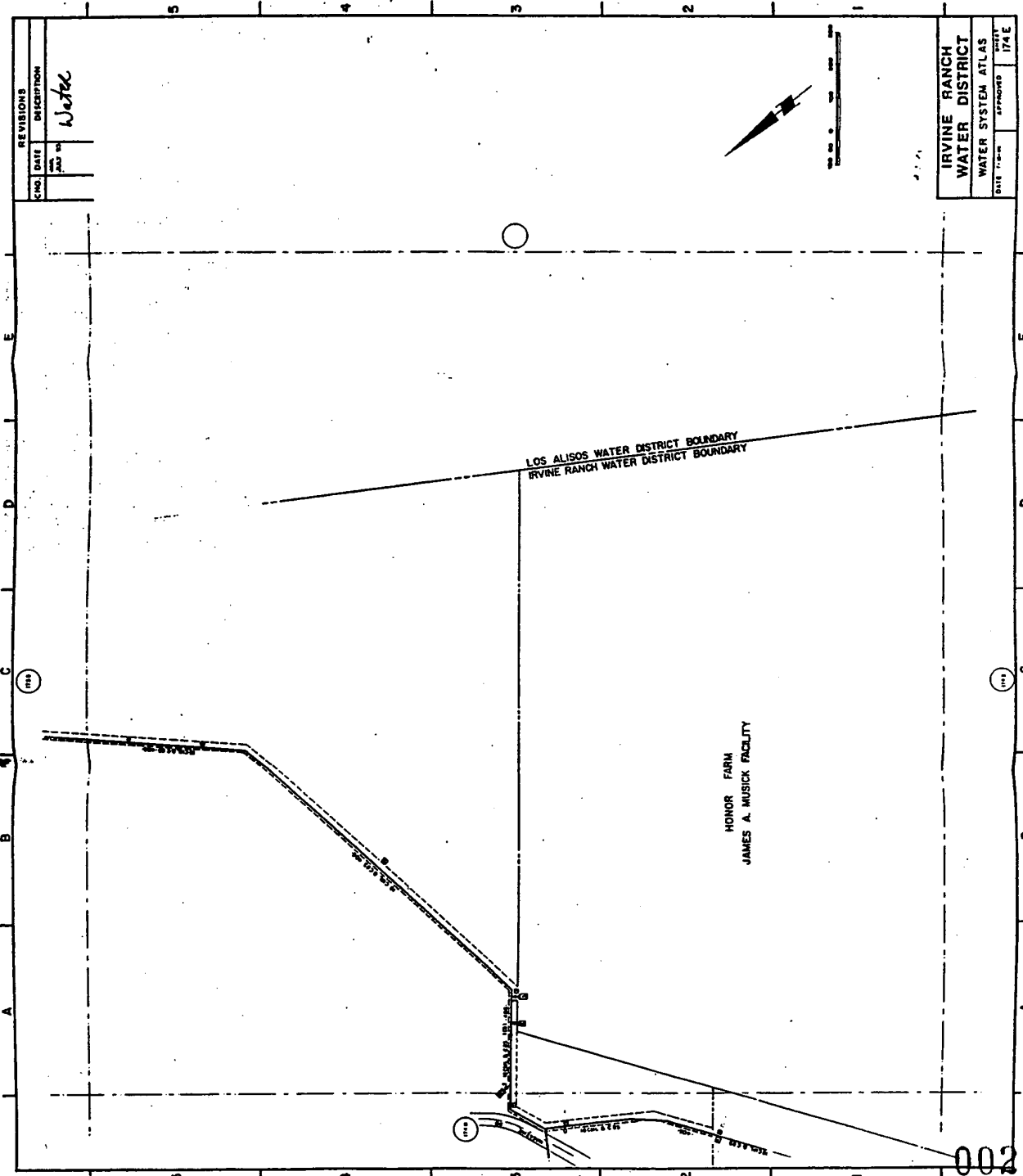
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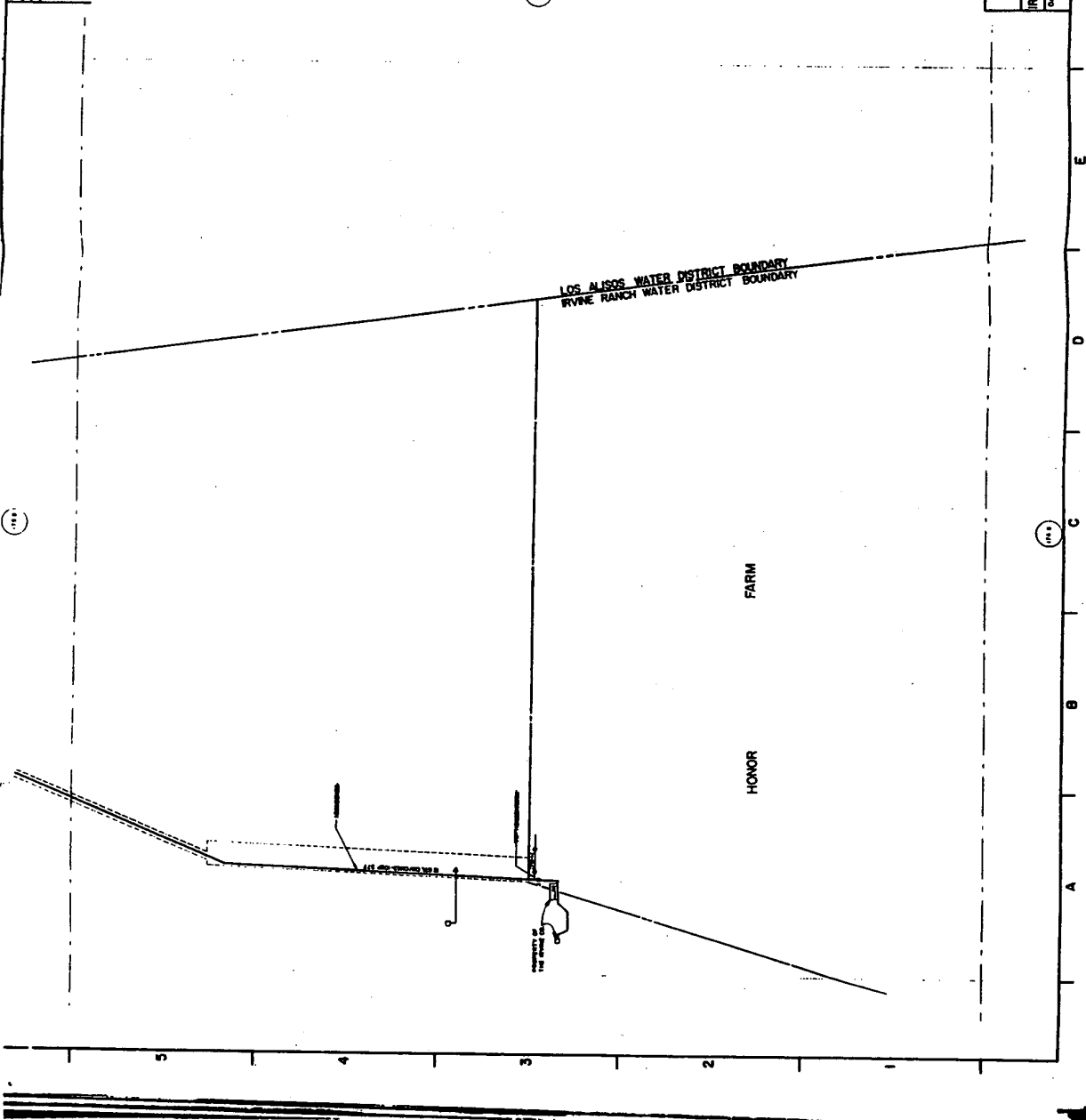
002081



002082



REVISIONS	
NO.	DATE
1	JUL 19
DESCRIPTION	



IRVINE RANCH	
WATER DISTRICT	
IRRIGATION WATER SYSTEM ATLA	
DATE	174 E

002085



UNITED STATES MARINE CORPS
MARINE CORPS BASE
BOX 555010
CAMP PENDLETON CALIFORNIA 92055-5010

IN REPLY REFER TO:
5090.534
BES/511

19 JUN 1996

RECEIVED

JUN 25 1996

Environmental & Project Planning

Paul Lanning
Environmental Management Agency
P.O. Box 4048
Santa Ana, CA 92702-4048

Dear Mr. Lanning:

Thank you for including Marine Corps Base Camp Pendleton on your distribution list for the Notice of Preparation for a draft Environmental Impact Report for the Expansion of James A. Musick Facility.

We have reviewed the documents and have no comments or concerns at this time.

Our point of contact regarding this matter is Mr. Richard Kramer, Environmental Planning Branch, Assistant Chief of Staff, Environmental Security. Mr. Kramer can be reached at (619) 725-9735.

LAWRENCE E. CARLSON
Resources Planning Division Head
Assistant Chief of Staff, Environmental Security
By direction of the Commanding General

002086

00799



ORANGE COUNTY FIRE AUTHORITY

180 South Water St. • Orange, CA 92666-2175 • (714) 744-0400

Larry J. Holms, Director of Fire Services

July 1, 1996

Paul Lanning
EMA/Environmental Planning
P.O. Box 4048
Santa Ana, Ca 92702-4048

RECEIVED

JUL 02 1996

Environmental & Project Planning

Subject: NOIP #564 - Expansion of James A. Musick Facility

Dear Mr. Lanning:

Orange County Fire Authority (OCFA) staff have reviewed the Notice of Intent to Prepare a Draft Environmental Impact Report for this project. In reviewing the initial study, we have the concerns regarding the potential impact on OCFA emergency resources. We are in the process of assessing the impact of increasing the inmate population six-fold on nearby emergency response units (there is only one paramedic unit in the area). The change in population type (minimum to maximum security inmates) may also have an effect. The impact on firefighting units may be mitigated with the installation of fire sprinklers in all structures on the compound (institutional sprinkler heads are available).

The Fire Authority requests to continue commenting, as project specific information develops, throughout the process to ensure adequate emergency access, water for fire protection and other fire protection issues are addressed.

Please contact me at (714) 744-0485 if you have any questions.

Respectfully,

Laura Blaul
Laura Blaul
Deputy Fire Marshal

pc: Nancy Foreman, OCFA/Advance Planning

Post-It™ brand fax transmittal memo 7671		# of pages ▶ 2
To	Andi Adams	
From	Paul Lanning	
Co.	CAA	
Co.	EMA/ETPRD	
Dept.	Phone #	
Fax #	581-3599	
	Fax # 834-6132	

Serving the Cities of: Buena Park • Cypress • Dana Point • Irvine • Laguna Hills • Laguna Niguel • Lake Forest • La Palma • Los Alamitos • Mission Viejo • Placentia
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RESIDENTIAL SPRINKLERS AND SMOKE DETECTORS SAVE LIVES

002087

00800

Scoping Comments (written)

002088

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

COMMENT FORM

The purpose of this form is to allow you to make comments on this proposed project. You may:

- make comments now either verbally or on this form at this meeting;
- hold you comments until the Draft EIR is distributed. Any comments made at this meeting orally or in writing by July 8, 1996 will be considered in the Draft EIR.

You may also indicate if you would like to receive notice of availability of the Draft EIR, as well as the hearings on the project. There will be a charge for these materials, although the EIR will be available at local libraries and at the County and City offices. If you wish to have such notice, please be sure to include your name and full address.

Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Leona Lilienthal
24251 Jeronimo Lane
Lake Forest, CA 9
92630
(714) 770-1097



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

Expansion of Existing Jail Facility:

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Comments:

The EIR should include:

- 1) The projected, average number of released inmates per day/week. The time released, and provision by sheriffs to be sure they leave the area immediately.
- 2) The surrounding businesses that will be developed because of the jail; ie bail bondsmen, liquor stores, cheap motels, bars, copiers, etc.
- 3) The designated % of min, medium, maximum inmates allowed. What is to prevent 5% min, 5% medium and 90% maximum fellows?

☒ Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Susan Maddrell

31872 Michigan Dr

Lake Forest

92630

751-7712

I AM OPPOSED TO THIS PROJECT!

EMA, Environmental & Project Planning Division, P.O. Box 4048, Santa Ana, CA 92702-4048

002090

July 8, 1996



SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
• Relocation of Interim Care Facility
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Comments:

I want everything!!!



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Kathryn McCullough
84432 TWIG STREET
LAKE FOREST
92630
(714) 720-1299
(714) 830-6095

002091



SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
• Relocation of Interim Care Facility
• Southeast Sheriff's Station

July 8, 1996

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

STEVE MONSANTO

Address:

21236 KENSINGTON LN

City:

LAKE FOREST

Zip Code:

92630

Phone # (optional):

Fax # (optional):

002092

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

STEVE MANNING
26812 SOMMERSET LN
LAKE FOREST
92630
714 587 1011

002093



SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
• Relocation of Interim Care Facility
• Southeast Sheriff's Station

July 8, 1996

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

P.B. BREEN
25161 Calle Alondra
Lake Forest CA
92630
770-7939

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: Gloria A. Todd
Address: 22272 Chestnut Lane
City: Lake Forest
Zip Code: 92630-4303
Phone # (optional): (714) 768-5551
Fax # (optional): _____

002095



SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
• Relocation of Interim Care Facility
• Southeast Sheriff's Station

July 8, 1996

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

DR. ROBERT HOFFMAN

Address:

21916 HURON LN

City:

LAKE FOREST CA 92630

Zip Code:

Phone # (optional):

714-951-9956

Fax # (optional):

002096

July 8, 1996



SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

MARK R. MADDELL
21822 MICHIGAN LN
LAKE FOREST
92630-1911
(714) 951-7712

002097



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

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Comments:

Willing to make phone
calls - help.



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

JOE PACKI

Address:

25422 TRABUCCO RD. #331

City:

LAKE FOREST

Zip Code:

92630

Phone # (optional):

714 - 855-6579

Fax # (optional):

714 - 830-1719

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

GARY LEWIS
22066 ELSBERRY WAY
LAKE FOREST
92630
714-855-4695
714-586-3618

002099



July 8, 1996

SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

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Comments: Where do the inmates go upon release? How long was the study on the Lacy project compared to James Musick. What about in-between the time a "new" jail is being built. What about inmates breaking out during construction?



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

D. Holford
20952 Calle Caprice
Lake Forest
92630
80

002100



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

Expansion of Existing Jail Facility:

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- Relocation of Interim Care Facility
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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

<i>Pam Slomp</i>	<i>Pam Werbeck</i>
<i>21522 Montbany Dr.</i>	<i>21691 Fernleaf Dr</i>
<i>Lake Forest CA</i>	<i>El Tor, CA</i>
<i>92630</i>	<i>92630</i>
<i>714/597-0154</i>	<i>521-2414</i>

002101

EMA, Environmental & Project Planning Division, P.O. Box 4048, Santa Ana, CA 92702-4048



SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
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Comments:

What happened to the first EIR that was done to change from Davis Farm to minimum security prison. It was decided not to make this sight in 1986 a minimum - maximum jail.



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Sandy Ueck
25560 Sawmill Lane
Dale Forest
92630
714-770-6517

002102

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

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Comments: Releasees should be at the court's Santa Ana facility, not from Musick. (There is accessible public transportation)

How are furlows for inmates handled?

Why can't the jail facility building plans wait until after the El Toro reuse is settled?

If the building of this facility generates the need for 20 additional officers, this seems to be a high risk venture, as the City of Lake Forest currently has only 8 Officers. Who will pay for these officers?

What will happen after 2006? Where and when is the long term plan for Orange County Jails?

Per state regulations, how close to a residential, parks, schools, or churches can maximum inmates be housed?



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

SHARON GLEASON
22672 Duncannon Cir.
Lake Forest
92630
(714) 768-0955 Office
768-3621

002103

If the Lacey facility percentage of arrested inmates holds true for Musick, with a jail population of 7,860 inmates approximately 5,414 arrests will be from Lake Forest, Foot Hill and Irvine. No Thanks to this jail.

002104



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

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Comments:

*Consider the effect of 24 hour
gun practice held at
the jail facility & its
environmental impact.*

☐

Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: _____

Address: _____

City: _____

Zip Code: _____

Phone # (optional): _____

Fax # (optional): _____

002105



SCOPING MEETING
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Comments:

- 1) EIR Should consider proximity of residential areas (current map limits set border at Lake Platy - giving illusion of pure commercial/industrial).
- 2) EIR Should consider open space corridors which allow escapees to enter residential back yards
- 3) Prisoners currently escape with no notice to community - install warning system. Fencing should have "sensing" wires to sense cutting or climbing.
4. Alternatives - 1) additional jail in Sabal town at current Stadium location - Relocate Stadium to Professional Regional Facility in Anaheim or at El Tor MEAS
2) facility in a remote canyon - either in Orange, Riverside or San Bernardino Counties
3) Lease downtown jail from LA County which they cannot afford to staff & operate.



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:
Address:
City:
Zip Code:
Phone # (optional):
Fax # (optional):

Bill Goodwin
26165 Owl Court
Lake Forest, CA 92630

002106

Mitigation
in addition to previous concerns

- 1) Complete Alton to Potola Parkway / FTC
- 2) Complete Potola^{Pkwy} Alton to Jeffery
I-2 would allow visitors additional non-tollway access.
- 3) Insure stormwater retained on-site and/or cleaned and released in accordance with Clean Water Act & NPDES
- 4) Crash zone for ET NCAS in vicinity. How will expansion of facility affect airport conversion and vice versa.



July 8, 1996

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: Susan H. Miller, President, Serrano Park
Address: 25082 Paseo Cipres Community Assoc.
City: Lake Forest
Zip Code: 92630
Phone # (optional): 714 837-5700 x362 wk or 951-3767 home
Fax # (optional): 714 837-1036 wk



SCOPING MEETING
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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Al Gamatta
21902 Sioux Dr.
Lake Forest, CA
92630
(714) 956-6159
(714) 513-8038

July 8, 1996



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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: RAY + BONNA LUNA
Address: 24581 VIA TEPICITA
City: LAKE FOREST C, CA
Zip Code: 92630
Phone # (optional): 859-9482
Fax # (optional): 380-7060

002110



SCOPING MEETING
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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Manuel Fernandez
20832 Calle Celeste
Lake Forest
92630
770-4477
768-8407

July 8, 1996



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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: DON HABERLEIN FAMILY
Address: 25112 CAROLWOOD
City: LAKE FOREST, CA
Zip Code: 92630
Phone # (optional): 714-588-1800
Fax # (optional): 588-0088

002112



SCOPING MEETING
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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Mary Althoff
24421 Corta Cresta
Lake Forest, CA 92630
92630
714-380-7520

002113

July 8, 1996



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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: Helen L VANCE
Address: 21785 Michigan LANE
City: LANE FOREST
Zip Code: 92630
Phone # (optional): 714-586-1676
Fax # (optional): _____

002114



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Comments:

This location is too close to residential areas with small children. There already has been a large increase in traffic on Bake Parkway along with noise. This proposal will significantly increase the noise to homes in Serrano Park. Will the county be willing to compensate homeowners for increase in noise, traffic as well as for decrease in home values?



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Sharon Chase

Address:

24961 Avenida Verano

City:

Lake Forest

Zip Code:

92630-2226

Phone # (optional):

714-567-1739

Fax # (optional):



July 8, 1996

SCOPING MEETING

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Comments:

AS A RESIDENT OF THE COUNTY OF ORANGE FOR 30 YEARS, I HAVE BEEN ABLE TO OBSERVE A GREAT DEAL OF CHANGE IN THE QUALITY OF LIFE WITHIN THE AREAS OF WHICH I HAVE LIVED. I INTEND TO RAISE MY CHILDREN IN THIS COUNTY, & MORE APPROPRIATELY IN THE COMMUNITY OF LAKE FOREST WHERE WE CURRENTLY RESIDE. IF IT IS NECESSARY TO INCREASE AND OR IMPROVE JAIL FACILITIES WITHIN THE COUNTY, PLEASE CONSIDER MY PLEA THAT IT BE DONE IN AN AREA OTHER THAN SOUTH COUNTY. IT IS MY FEELING THAT THIS "EXPANSION" WILL BE A SIGNIFICANT STEP IN THE DEPRECIATION OF SOME OF THE BETTER DEVELOPPED & TO-BE-DEVELOPED LAND IN O.C. I DON'T MEAN TO DEMEAN THE OTHER COMMUNITIES WITHIN THE COUNTY, BUT IT IS NOT DIFFICULT, TO ME, TO UNDERSTAND THE PHYSICAL, SOCIAL & ECONOMIC IMPACT THIS FACILITY WOULD HAVE ON THESE FINE



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: _____

Address: _____

City: _____

Zip Code: _____

Phone # (optional): _____

Fax # (optional): _____

002116

NEIGHBORHOODS. WE HAVE LABORED HARD TO EARN THE
PEACE OF MIND WE CURRENTLY ENJOY IN OUR HOME. WE
ASK THAT OUR FEELINGS & CONCERNS BE CONSIDERED
WITH THE THOUSANDS OF OTHERS IN OUR NEIGHBORHOODS.

THANKYOU.

002117

00830



SCOPING MEETING Environmental Impact Report #564

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Jerry Greiner
20931 Calle Celeste
Lake Forest
92630
(714) 458-1365

002118



SCOPING MEETING
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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: Trudy Craig + Terry Craig
Address: 22331 Kirkwood
City: Lake Forest
Zip Code: 92630
Phone # (optional): _____
Fax # (optional): _____

002119



SCOPING MEETING Environmental Impact Report #564

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Comments:

Schools - 5,000 children
attend school within
2 miles of the proposed
Jail



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Bonnie Johnson

24592 VIA CANADA

LAKE ELDERS

7263

(714) 768-5574

002120



SCOPING MEETING Environmental Impact Report #564

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Comments:

This type of jail, in our
type of ~~large~~ taxpayers community
is a bad business decision,
a stupid community decision,
Look to Santa Ana, or the
desert!



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

John Hunt / Jaki Trust 11 M.H.F.
26971 Canyon Lane
Jaki Trust
CA 92630
(714) 8259-9215
Jesse
B.D.

July 8, 1996



SCOPING MEETING
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Comments:

In the best interest of Orange County, the location of any Jail should be closest to the area in which it serves. Demographically this would represent an area where the largest group represented by the Jail population normally resides outside the prison. This would reduce traffic, noise, socioeconomic impact, public health and safety while improving air quality, land use, water resources and aesthetics. Please put the prison in the economically depressed Santa Ana. Land is reasonable, people need the jobs, it's close to court saving time and money.



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: Jim BOTHWELL
Address: 22881 LOUMONT DR.
City: LAKE FOREST
Zip Code: 92630
Phone # (optional): 714 583 1574
Fax # (optional): 714 768 1335

002122

(over)

1. DOES ANYONE FROM THE BOARD OF SUPERVISORS RESIDE IN LAKE FOREST?
2. WHAT ORANGE CITY HAS THE MOST PEOPLE (HIGHEST PERCENTAGE) PEOPLE - RESIDENTS IN PRISON?
3. THE JAIL IN SANTA ANA STARTED OUT AS A ~~MINI~~ MINIMUM SECURITY LOCKUP AND IS NOW A MAXIMUM SECURITY LOCKUP. WAS THIS FACTOR (MAX SECURITY) MENTIONED WHEN THE INITIAL MINIMUM SECURITY LOCKUP WAS PROPOSED?
4. HOW MUCH TIME DOES IT TAKE TO "FERRY" ~~OR~~ A PRISONER BACK & FORTH FOR TRIALS, APPEALS ETC? WHAT IS THE ADDITIONAL COST OF GUARDS, TRANSPORTATION ETC? LAKE FOREST VS. SANTA ANA.
5. WHAT ABOUT USING THE TUSTIN HELICOPTER BASE WHICH WOULD BE CLOSER TO SANTA ANA.
6. HOW MANY "ESCAPES" HAVE TAKEN PLACE AT THE CURRENT MEXICAN FACILITY? RECOVERED OR NOT.
7. WHAT PROVISIONS ARE SETUP IN THE CASE OF A MAJOR EARTHQUAKE?

002123

July 8, 1996



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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

KELLY KRUESE
21961 CALLE DE LA V
LAKE FOREST
92630

002124



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

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Comments:

DANGER TO COMMUNITY
COST OF BUILDING, & OPERATING
AIRPORT ISSUE

LOSS OF PROPERTY VALUE
— SHOULD BE PAID FROM
RESIDENTIAL AREAS.

NOT ENOUGH NOTICE TO
HOMEOWNERS — SPEAKING
THROUGH THE PROCESS
NO SUPERVISOR TO SUPPORT COMMUNITY



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

ANNE M. KRAUSE
21461 CALLE DE IRU
LAKE FOREST
92630
714-472-1378

002125



SCOPING MEETING Environmental Impact Report #564

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Kathleen Kweder
24561 Via Tequila
Lake Forest
92630
(714) 951-2609



SCOPING MEETING
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Comments: When we bought this house nineteen years ago, Musick was a small Honor Farm. We were assured that it would remain as such. We did not feel threatened living near people who were incarcerated for drunkenness or writing bad checks. It is beyond my comprehension how any responsible individual or government entity could possibly consider building a medium/maximum jail in "walking distance" (700 ft.) to family neighborhoods.

☒

Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:
Address:
City:
Zip Code:
Phone # (optional):
Fax # (optional):

Greg & Cheryl Satlow
24571 Via Tequila
Lake Forest
92630
(714) 837-0479

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

COMMENT FORM

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Comments:

*Why do people become
criminals*
*Why do we get more
mental patients*

☐

Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: _____

Address: _____

City: _____

Zip Code: _____

Phone # (optional): _____

Fax # (optional): _____

002128



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

Expansion of Existing Jail Facility:

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- Relocation of Interim Care Facility
- Southeast Sheriff's Station

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Comments:

AGAINST THE "MUSICK" SITE
NO EXCEPTION



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

Wm. M. PIPKIN, JR.
24652 VIA DEL RIO
L.A. 92630
714/434-5125

002129



SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
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• Southeast Sheriff's Station

July 8, 1996

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: Barbara Lind
Address: 25306 Ginger Rd
City: Lake Forest CA
Zip Code: 92630
Phone # (optional): 714/458-9024
Fax # (optional): 714/837-8101

002130



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

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Comments:

☐

Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:
Address:
City:
Zip Code:
Phone # (optional):
Fax # (optional):

Dona Brooks
31908 Winnemago
Gale Forest 92620

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

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Comments:

STUDY SHOULD ADDRESS TRAFFIC, AIR QUALITY (AS A RESULT OF TRAFFIC), NOISE, AESTHETICS, SAFETY; AS THEY RELATE TO THE QUOTED 925 SPACE AND 600 SPACE PARKING LOTS. WHAT ARE THE RELATED IMPACTS ON SAFETY AIR QUALITY ETC. WITH THE APPARENTLY 6000+ CAR TRIPS PER DAY TO THE FACILITY BY STAFF AND VISITORS?

IN THE CASE OF A MAJOR EARTHQUAKE, WHAT PROVISIONS ARE PLANNED TO ASSIST THE PRISON POPULATION. SINCE LOCAL FACILITIES ARE FOCUSED THE LOCAL COMMUNITY, IS THERE ANY EXPECTATION OF THOSE FACILITIES BY THE JAIL IN AND A ~~DISASTER~~ DISASTER?

☐

Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:
Address:
City:
Zip Code:
Phone # (optional):
Fax # (optional):

CLIFF BEAVER
22131 TIMBERLINE WAY
LAKE FOREST
92630
581-4664
957-8153



SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
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July 8, 1996

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Comments:

- 1) IMPACT TO LOCAL TRAFFIC SHOULD BE #1 CONSIDERATION. AREA IS ALREADY UNDER "STRESS".
- 2) JAIL "RELEASE" FACILITY PROPOSES TO LET INMATES INTO NEIGHBORHOODS. HIGH RECIDIVISM RATE/EARLY RELEASE PROGRAMS/BAND AFFILIATED INMATES BRING A KNOWN DETRIMENTAL ELEMENT TO A RESIDENTIAL AREA.
- 3) THIS "EXPANSION" IS SHORT SIGHTED (STUDY EVEN REFERS TO "SHORT TERM FIX", AND IS NOT EXPANSION AT ALL... WITH DEMOLITION OF EXISTING STRUCTURES IT IS ACTUALLY NEW CONSTRUCTION! BETTER USES OF \$ AND RESOURCES SHOULD BE

(OVER)

Name:
Address:
City:
Zip Code:
Phone # (optional):
Fax # (optional):

Scott C. Fountain

24301 Cardinal Place

LAKE FOREST, CA 92630

(714) 581-1590

INVESTIGATED AT LENGTH PRIOR TO THIS EVEN BEING CONSIDERED.

- A) SELL THE LAND & USE MONEY TO PAY FOR BUILDING JAIL ON SHERIFF'S OFFICE SITE IMMEDIATELY NEXT TO EXISTING JAIL & EXISTING COURT.
 - B) IF AN AIRPORT IS GOING IN AT EL TONDO, USE STRUCTURES AT JOHN WAYNE (STILL BEING PAID FOR BY OR. CO. TAXPAYERS!) AS A JAIL SITE. WITH STRUCTURES & PARKING IT WILL SERVE MANY MORE BEDS THAN THE PROPOSED MUSIL EXPANSION.
 - C) LEAVE SITE ALONE & MOVE TO GYPSUM.
- 4.) LOCATION OF ARRESTS OF PROPOSED INMATES IS HEAVILY SKEWED IN CENTRAL COUNTY AREA (RE: THEO LACY EXPANSION STUDY NOTES THAT "68% OF ARRESTS COUNTYWIDE OCCUR WITHIN A 10 MILE RADIUS OF THEO LACY" THIS MEANS CRIMINALS NOT FAMILIAR WITH OUR SO. CO. NEIGHBORHOODS WILL BE INTRODUCED TO THE VERITABLE GOLDMINE OF HOMES & CITIZENS TO PREY UPON.
- 5) EMERGENCY SERVICES TO RESIDENTS WILL ABUSELY BE IMPACTED WITH LAW ENFORCEMENTS GREATER WORK LOAD.

July 8, 1996

**SCOPING MEETING****Environmental Impact Report #564**

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
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Comments: At the meeting held at the Lake Forest II Homeowners Association on July 8, 1996, the speaker advised she had mailed out 140 notices of the meeting and had contacted "Cardinal Property Management." Who is that? Are you aware there are more than 3,000 homeowners just in LF II alone? How could you feel that you've done due diligence by sending out 140 notices (and to whom I have no idea, because not even our Board members received them.) — what is the population of Lake Forest? We were notified of this 7-8 meeting on 7-6 — 2 days notice and only because I received a call from Diane Brooks, Director, who also found out by chance. →



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Scott C. Fountain

Address:

24301 Cardinal Place

City:

LAKE FOREST, CA 92630

Zip Code:

Phone # (optional):

(714) 581-1590

Fax # (optional):

002135

I myself hand delivered 300 notices of this meeting on 1-6
just so those in my tract were made aware of this meeting
I strongly suggest you use more than \$44.80
in postage (140 mailings x .32) from the \$235,000 fee
given to you to advise the residents so dramatically
impacted by this that a public meeting for
comments is being held.

This is abominable.

002136

00849

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

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- Relocation of Interim Care Facility
- Southeast Sheriff's Station

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Comments: Would like a copy of Notice of Preparation given out at 7/8/96 meeting especially with overlay of new facility and old area.



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

John J. Gillespie
24382 Calle Pequeno
Lake Forest
92630

002137



July 8, 1996

SCOPING MEETING

Environmental Impact Report #564

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Comments:

The supervisor's own master plan for this area for the past 20 years has been a residential development with light industry. A minimum security Honor Farm is not incompatible. A 7000+ minimum, medium & maximum security jail does not meet the master plan criteria. This area is already over-run with traffic & its ensuing problems of pollution & congestion. We cannot handle additional traffic. The undesirable elements of a booking & release station, released prisoners & friends, but-bond establishment, would seriously do harm to our neighbors, kids & children in the schools nearby. Further business development would be stopped also because of this detrimental "jail" facility. No to any expansion.

Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: _____
Address: _____
City: _____
Zip Code: _____
Phone # (optional): _____
Fax # (optional): _____

KAREN & MIKE COBE
24751 Camino Vista
LAKE FOREST

July 8, 1996



SCOPING MEETING Environmental Impact Report #564

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Comments:

Copy NOP + Future Meeting
Notice



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

STEVE SAWDON
22142 Canyon Rd
Lake Forest CA
92630
458-9101

002139



SCOPING MEETING Environmental Impact Report #564

July 8, 1996

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Comments:



Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name:

Address:

City:

Zip Code:

Phone # (optional):

Fax # (optional):

G. F. CHAPMAN

2511 SLEEPY HOLLOW TER.

LAKE FOREST, CA.

92630

002140

July 8, 1996



SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
• Relocation of Interim Care Facility
• Southeast Sheriff's Station

RECEIVED
JUL 15 1996
Environmental & Project Planning

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(OVER)

Name:
Address:
City:
Zip Code:
Phone # (optional):
Fax # (optional):

Scott C. Fountain
24301 Cardinal Place
LAKE FOREST, CA 92630
(714) 581-1590

INVESTIGATED AT LENGTH PRIOR TO THIS
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A) SELL THE LAND & USE MONEY TO PAY FOR BUILDING
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COURT.

B) IF AN AIRPORT IS GOING IN AT EL TONDO,
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C) LEAVE SITE ALONE & MOVE TO GYPSUM.

4.) LOCATION OF ARRESTS OF PROPOSED INMATES
IS HEAVILY SKEWED IN CENTRAL COUNTY AREA
(RE: THEO LACY EXPANSION STUDY NOTES THAT
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10 MILE RADIUS OF THEO LACY" THIS MEANS
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NEIGHBORHOODS WILL BE INTRODUCED TO THE
VERITABLE GOLDMINE OF HOMES & CITIZENS
TO PREY UPON.

5) EMERGENCY SERVICES TO RESIDENTS WILL ASSURELY
BE IMPACTED WITH LAW ENFORCEMENTS GREATER
WORK LOAD.

July 8, 1996



SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

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Comments:

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☐ Yes, I would like notice of the availability of the Draft EIR. Please mail me a notice at:

Name: _____
Address: _____
City: _____
Zip Code: _____
Phone # (optional): _____
Fax # (optional): _____

KAREN & MIKE O'BEA
24751 Camino Villa
LAKE FOREST

002143

Scoping Meeting Attendees

002144



NOTICE OF SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Intermediate Care Facility
- Southeast Sheriff's Substation

INTRODUCTION

Pursuant to § 15083 of the guidelines for the California Environmental Quality Act (CEQA), the County of Orange will hold a Scoping Meeting to afford the public an opportunity to provide input on a yet to be prepared Environmental Impact Report (EIR) on the expansion of the existing James A. Musick Jail Facility. The County has determined that an EIR must be prepared in order to address the potentially significant environmental impacts of the proposed project and to evaluate a range of alternatives thereto. The County has prepared a Notice of Preparation (NOP) which identifies the scope of analysis to be undertaken, and distributed this to various agencies and other interested persons on June 7, 1996.

LOCATION

The James A. Musick Facility lies southeast of the future extension of Alton Parkway and northwest of existing Bake Parkway, in the unincorporated area of the County of Orange. The facility is located in the Sphere of Influence of the City of Irvine, and is immediately adjacent to the City of Lake Forest. The municipal boundary of the City of Irvine borders the property on the south/southwest.

PROJECT DESCRIPTION

The proposed project to be evaluated in the EIR is the expansion and operation of the Musick Jail, located at 13502 Musick Drive in Irvine, to a maximum of 7,680 inmates from the current population of approximately 1200 - plus. The population of 7,680 inmates represents a "worst case" scenario. The proposed expansion is anticipated to be phased over time with a variety of inmate population levels occurring over the project buildout. A full range of inmate classifications will be incarcerated in the facility including minimum, medium, and maximum security inmates. Construction will entail development of inmate housing units in either a cell or dormitory configuration. Related support structures will also be constructed. The project also includes booking and release of inmates, the construction of a warehouse and central plant, and parking structures. Finally, a Sheriff's substation and an Intermediate Care Facility will be located on the site.

At a minimum the EIR will examine the potential impacts resulting from the proposed project in the following categories: traffic; air quality; noise; land use; water resources; grading and seismic impacts; safety; aesthetics; light and glare; public services; socioeconomic impacts; and public health and safety. Additional impacts may be identified and addressed during the environmental process. The EIR will also evaluate a range of alternatives to the proposed project including potential alternative sites, and alternatives to incarceration. A more complete description of the proposed project is included in the Notice of Preparation which can be obtained at the location listed below.

PURPOSE OF THE MEETING

Pursuant to CEQA guidelines § 15083, the County invites all interested parties to attend this Scoping Meeting and express their views as to the scope and content of the EIR, the range of analyses to be included in the document, and to discuss alternatives to the proposed project. The meeting will begin with a brief presentation by the County and the County's consultant. County staff and the County's consultant will also make a brief presentation of the EIR process and work completed to date, followed by opportunity for public comments on the proposed contents of the EIR. This meeting is limited to a discussion of the desired contents of the EIR, and will not focus on the merits of the project. Comments or concerns related specifically to the project will be considered by the Orange County Planning Commission and the Orange County Board of Supervisors in public hearings after completion of the environmental process.

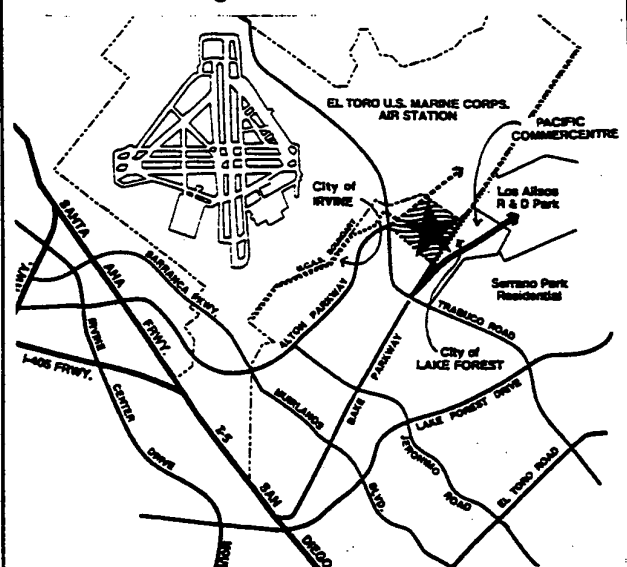
The Scoping Meeting will be held on July 8, 1996, at 6:00 p.m. at the Lake Forest II Sun & Sail Club located at 24752 Toledo Way, Lake Forest. A copy of the Notice of Preparation is available for review at the EMA/Environmental & Project Planning Division by contacting Paul Lanning at (714) 834-3686. Written comments may be submitted to Paul Lanning at:

EMA/Environmental & Project Planning Division
300 N. Flower Street, Room 321
Santa Ana, California 92702

MEETING LOCATION



PROJECT LOCATION



002145

00858



SCOPING MEETING
Environmental Impact Report #564
 Expansion of Existing Jail Facility:
 • James A. Musick Expansion And Operation
 • Relocation of Interim Care Facility
 • Southeast Sheriff's Station

July 8, 1996

SIGN-IN

NAME	ORGANIZATION (If applicable)	ADDRESS	PHONE NO.
IRMIN KREIN	Resident	21940 CRIC Lane	
Fred Newman	Resident	21892 Humboldt	581-7636
A. McADAM	"	21881 MICHAEL LN	768 3118
MARCIA SMITH	Resident	21905 UTE LAKE FOREST	830-5215
WAYNE GENTRY	Resident	22092 FOREST RIN CIRCLE	581-9243
Bonnie Prout	resident	24861 Lakefield ST, Lake Forest	768-6992
Sharon Rudometko	resident	25112 Paseo Cipres, Lake Forest	837-6666
Pam Verbeck	Resident	21691 Farolact DR.	581-2414
LOUISE VANCE	"	21785 Michigan LANE	586-1676
DON HABERLE	HOMEOWNER	25112 CARROLLWOOD L.F. 92630	714-588-1800
Tobias Balun	HOMEOWNER	24701 Via Del Rio L.F. 92630	458-8751
BOB LUNA	Resident	24581 Via Tequila, L.F. 92630	859-9482
Mr. Mrs. Matto	Residents	25001 Mammoth Circle L.F. 92630	380-373
Rob Hund	Resident	25011 Mammoth L.F. 92630	855-2011
Mary Althoff	Resident	24412 Carta Cresta L.F. 92630	380-7520
Chris Johnson	Resident	21822 Michigan Lane L.F. 92630	768-1208



SCOPING MEETING
Environmental Impact Report #564
 Expansion of Existing Jail Facility:
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July 8, 1996

SIGN-IN

NAME	ORGANIZATION (If applicable)	ADDRESS	PHONE NO.
Jim/Betsy Bartz	resident	85701 Cinevia L.F. 92630	768-5503
Joe/Linda Gartin	resident	21642 Rio Verde LF 92630	915-9262
SHEEMAN JONES	resident	24602- PASEO VANDAVAN L.F. 92630	458-1501
MELINDY BASCH	LAKE F. BCK-TENTS	20841 MOUNT LAKE F. 92630	588-0800
Kathy Zuckerman	Lake Forest Ranch	25121 Cynabod LF	583-7323
William Hunt	Adriatic II Bed	21971 Cynabod LF 92630	857-9211
LORETTA HERRIN	RESIDENT	25111 Cynabod LF 92630	
SUZANNE MALKINER	RESIDENT	31842 APACHE DR LF 92630	770-5337
Kate & John Kwede	resident	24561 Via Tequila 92630	951-2119
Robyn Cole	resident	21542 P. H. O. B. D. LF 92630	701-1275
A.M.E. KADOKI	RESIDENT	21761 C. C. E. DE 010	472-1371
Jenae Hill	"	22266 Anthony Dr LF 92630	859-2226
Garnet Daugherty	"	22151 Timberline Way LF 92630	583-7122
Glenn Lamora	"	22202 Shade Tree Ln LF 92630	830-2678
Lynne Lamora	"	22202 Shade Tree Ln LF 92630	830-2678
Robert Lamora	resident	21942 E. Rio Lane LF 92630	859-6609



SCOPING MEETING
Environmental Impact Report #564
 Expansion of Existing Jail Facility:
 • James A. Musick Expansion And Operation
 • Relocation of Interim Care Facility
 • Southeast Sheriff's Station

July 8, 1996

SIGN-IN

NAME	ORGANIZATION (if applicable)	ADDRESS	PHONE NO.
FRANK & DANIA HENDERSON	LAKE FOREST HOMEOWNERS	22037 ARROWHEAD LN	558-7225
Suzanne Green		22672 Dunesfield Cir	768-0955
Sandy Uecker	Lake Forest Homeowners	25561 Sawmill Lane	770-6517
Jolene Fuentes	LA Madera Elem Sch PTA	22112 Windward Way	770-5695
Rob Parker	LF II	P.O. Box 3943 Laguna Hills CA 92654	729-5660
Pat Dabbi Danyberg		22906 Lee Lane Lake Forest	957-0081
Wm. M. Pappin Jr.	LF II	24452 VIA DEL RIO	453-8628
John Kuesden	LF II	24501 Via Tegula LF	951-2609
Mike "	"	"	"
Greg Vick Killingsworth	"	25132 Sleepy Hollow LF 92630	458-3984
Greg & Cheryl Saffley	"	24571 Via Tegula, LF	837-0479
Donna & Paul Johnson	LF II	24592 VIA TEBADA L.F.	768-5524
Karen & Tony Leonti		21031 Canterbury Ln. L.F.	770-1945
Susan Miller	Serrano Park	25082 Paseo Cipres L.F.	839-5700 wk. 951-3767
Terry & Trudy Craig	LF II	22331 Kirkwood LF	472-4624
Don & Jeff Gump	Montebello Homeowners	21522 Montebello Dr. L.F.	597-0154



SCOPING MEETING
Environmental Impact Report #564
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July 8, 1996

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NAME	ORGANIZATION (if applicable)	ADDRESS	PHONE NO.
Lee Guertin	Resident-Serrano Plk	21231 Avenida Plancie Lake Forest	581-5408
Will + Kathi Decker	Resident - The Woods	22312 Kirkwood C.F.	770-8050
Bo P. Haggath		22271 CHESTNUT LN "	581-4087
J.G. Hilleger	Resident Forest Creek	24382 Calle Paganero R7	581-1568
Charles W. Robinson	RESIDENTS	24565 VIA TERNIA LF	770-7169
David Bass	Resident	24742 Via del Rio LF	770-2235
James Segner	Resident	25142 Vista Serrano LF	837-3344
Gill Burnett	Resident	25071 OWENS LK	588-8007
Janet Segner	Resident	25142 VISTA SERRANO LF	837 3344-
Charles Neumann	Resident	20911 PASCO Robie LF	857 7306
FRANK CRISTALDI	Resident	21042 Calle NATORRAL ET	925-2049
David Robins	Resident	24931 Ave Verano LF	757-8417
DICKSON FLEET	RESIDENT	25126 SERRANO LF	581-2927
Lowell Newman	Resident	24722 SUNSET LAKE FOREST	859-7585
James A. Musick	Sec.	21905 Elm Lake Forest	581-9383
Kathleen M. Haggath	Secretary	24432 Irving St Lake Forest	770-1299

July 8, 1996

SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
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SIGN-IN

NAME	ORGANIZATION (if applicable)	ADDRESS	PHONE NO.
Sharon Chase		24961 And. Verano, Lk Forest	587-1739
Deirdre Sawyer		32131 Timberlows LF	581-4664
Wendy Annman		24921 Avenida Arroyo, L.F. 92630	833-2815
Jim Rothwell		22881 Lowmoutde LF CA 92630	714-583-1574
John Mitchell		25483 Morningstar Rd LF 92630	458-5111
Patricia L. Lutz		21432 Via Piedra L.F.	459-2912
David St. John		26252 Hillside Lk Forest CA 92630	
Steve Spitznagel		24732 Via del Rio LF 92630	770-7127
Rob Spitznagel		" " " "	770-7127
Bill Gaudin		26165 Owl Ct LF 92630	951-2561
Dave Zabor		21432 Via Viajante LF 92630	458-9464
David Gaudin		20931 Calle Celest LF 92630	458-1365
Wendy Kathy		26252 Hillside Lk Forest LF 92630	855-6982
Phillips		22881 Lowmoutde LF 92630	770-4146
Wendy		24921 Avenida Arroyo, L.F. 92630	833-2815
David St. John		26252 Hillside Lk Forest LF 92630	583-0413

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SCOPING MEETING
Environmental Impact Report #564
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July 8, 1996

SIGN-IN

NAME	ORGANIZATION (if applicable)	ADDRESS	PHONE NO.
Colleen V Wincele	LF II	28321 Kirkwood E1 Torco	454-9422
Angela J. Chen	LF II	22112 Comanche Rd	586-6469
Kathy T. Olsen	LF II	25105 SCARY HORNS BLVD	472-3547
G.L. Chapman	LF II	25111 " "	855-1739
Greg Waskew	BF II	24401 Calle Regenera	380-2616
Scott FOUNTAIN	LF II	24301 CANTINAZ PL.	262-6618
DANIEL JAMESON	LF II	24572 VIA TRUJILLA LF	837-7179
Scott KHR	LF II SORIANO PANE	24572 VIA TRUJILLA LATER PREST	726-2506
RICH ARVEDO	LF II	84752 CAMINO VILVA	207-5925
Margaret Burns	LF II	" "	"
KAREN O'BRIEN	LF II	24751 Camino Vileo	768-6642
MIKE O'BRIEN	LF II	" "	"
JANICE SAWDON	LF II	221K2 Comanche L-F	458-9101
Stella Sawdon	LF II	221K2 Comanche LF	458-9101
PAUL COUNTER	LF II	24762 Crystal Ci LF	622-2662
Jay Justice	LF II	81231 Ave Plaines LF	581-5408

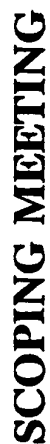


SCOPING MEETING
Environmental Impact Report #564
 Expansion of Existing Jail Facility:
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 • Southeast Sheriff's Station

July 8, 1996

SIGN-IN

NAME	ORGANIZATION (if applicable)	ADDRESS	PHONE NO.
BOB DYER	City of Lake Forest	23778 Mercury RD LF	707-5583
MARK PULONE	"	"	"
MARCEL FERNANDEZ	20932 Calle Celeste	20932 Calle Celeste L.F.	720-4479
SANDY FERNANDEZ		20932 Calle Celeste, L.F.	770-4479
Al Gonsen	Resident	21502 Sioux Dr. Lake Forest 92630	9458-980
DAVID GROVER	Resident	24621 Via Tomada LF	597-8201
Dona Brooks	"	21908 Wunnebag LF 92630	
Helen Wilson	City / Lake Forest	23778 Mercury RD	707-5583
Richard Wilson			
Richard Dixon	City of LF	"	"
Robert R. Ford	Resident	31852 Tecandara Lane, Lake Forest 92630	581-0351
Charlie & Mary Macken	"	21092 Paseo Verdura, Lake Forest	830-9197
Ron Whit	"	21111 Paseo Verdura L.F.	951-6253
Tam Garside	"	25032 Paseo Cipres L.F. 92630	859-0866
Rosmary Grisale	"	25032 Paseo Cipres, L.F. 92630	859-0866
Barbara Land	"	25306 Ginkgo, LF 92630	458-9024



SCOPING MEETING Environmental Impact Report #564

Expansion of Existing Jail Facility:

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- Relocation of Interim Care Facility
- Southeast Sheriff's Station

July 8, 1996

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SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
- Relocation of Interim Care Facility
- Southeast Sheriff's Station

REQUEST TO SPEAK

Name

Al Gamarrta

Address

21902 Sioux Dr.

Lake Forest, CA 92630

If you wish to speak regarding the proposed contents of the EIR, please complete this form and provide it to the staff table in front. This will help ensure you are given the opportunity to speak.



SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

- James A. Musick Expansion And Operation
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- Southeast Sheriff's Station

REQUEST TO SPEAK

Name

Scott C. Fountain

Address

24301 CARDINAL PR.

LAKE FOREST

If you wish to speak regarding the proposed contents of the EIR, please complete this form and provide it to the staff table in front. This will help ensure you are given the opportunity to speak.

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SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
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• Southeast Sheriff's Station

REQUEST TO SPEAK

Name

Charles Marken

Address

21092 Paseo Verdura
Lake Forest

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SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
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• Southeast Sheriff's Station

REQUEST TO SPEAK

Name

Dianne Brooks

Address

25131 Sleepy Hollow Terrace
Lake Forest

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SCOPING MEETING
Environmental Impact Report #564
Expansion of Existing Jail Facility:
• James A. Musick Expansion And Operation
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• Southeast Sheriff's Station

REQUEST TO SPEAK

Name

STEVE SAWDON

Address

22142 Comanche

LAKE FOREST

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please complete this form and provide it to the staff table in front.
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SCOPING MEETING
Environmental Impact Report #564
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REQUEST TO SPEAK

Name

Tobie Balma

Address

24701 Via Del Rio

LAKE FOREST

If you wish to speak regarding the proposed contents of the EIR,
please complete this form and provide it to the staff table in front.
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SCOPING MEETING

Environmental Impact Report #564

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REQUEST TO SPEAK

Name

Charles NEUMANN

Address

20211 PASADENA BLVD

L.F. 92630

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SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

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- Southeast Sheriff's Station

REQUEST TO SPEAK

Name

PAUL COULTER

Address

24962 CRYSTAL CIR.

LAKE FOREST, CA 92630

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002157

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SCOPING MEETING

Environmental Impact Report #564

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REQUEST TO SPEAK

Name

Sue Spitznagel

Address

24732 Via Del Rio, Lake Forest 92630

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SCOPING MEETING

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REQUEST TO SPEAK

Name

Tim Segner

Address

25142 Vista Serrano

LF 92630

If you wish to speak regarding the proposed contents of the EIR, please complete this form and provide it to the staff table in front. This will help ensure you are given the opportunity to speak.

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SCOPING MEETING

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REQUEST TO SPEAK

Name

Wm. M. Ripkin JR.

Address

24452 VADEL RD

LF- 92630

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SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

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REQUEST TO SPEAK

Name

Susan H. Miller

Address

25082 Paseo Cipres

Lake Forest, CA 92630

If you wish to speak regarding the proposed contents of the EIR, please complete this form and provide it to the staff table in front. This will help ensure you are given the opportunity to speak.

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SCOPING MEETING
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Expansion of Existing Jail Facility:

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REQUEST TO SPEAK

Name

TODD SPITZER

Address

531 MUIRWOOD AVE.

BREA, CA

If you wish to speak regarding the proposed contents of the EIR,
please complete this form and provide it to the staff table in front.
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SCOPING MEETING
Environmental Impact Report #564

Expansion of Existing Jail Facility:

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REQUEST TO SPEAK

Name

JIM RICHERT

Address

24861 VIA DEL RIO

LAKE FOREST CA 92630

If you wish to speak regarding the proposed contents of the EIR,
please complete this form and provide it to the staff table in front.
This will help ensure you are given the opportunity to speak.

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SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

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- Southeast Sheriff's Station

REQUEST TO SPEAK

Name

DAVID GROVER

Address

24621 VIA TOAADA
LF

If you wish to speak regarding the proposed contents of the EIR, please complete this form and provide it to the staff table in front. This will help ensure you are given the opportunity to speak.



SCOPING MEETING

Environmental Impact Report #564

Expansion of Existing Jail Facility:

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REQUEST TO SPEAK

Name

MARCEL FERNANDEZ

Address

20932 CALLE CELESTE
LAKE FOREST, CA 92630

If you wish to speak regarding the proposed contents of the EIR, please complete this form and provide it to the staff table in front. This will help ensure you are given the opportunity to speak.

002161

Miscellaneous Comments

002162



CITY OF ANAHEIM, CALIFORNIA

Planning Department

August 8, 1996

Paul Lanning
County of Orange
Environmental Management Agency
P.O. Box 4048
Santa Ana, CA 92702-4048

RE: Notice of Preparation - Musick Jail Expansion

Dear Mr. Lanning:

The City of Anaheim Planning staff understands that the environmental documentation currently being prepared for the Musick Jail Facility Expansion may include an investigation of Gypsum Canyon in the City of Anaheim as a potential alternative jail site. We were most surprised that this site might be evaluated given the site's prior history. The County Board of Supervisors previously considered Gypsum Canyon as a long-term jail site and conducted extensive studies in this regard. For numerous reasons including acquisition costs, site development costs associated with the hillside terrain, and proximity to sensitive land uses, the Board of Supervisors in October of 1991 formally abandoned the Gypsum Canyon Jail project since the site was not feasible. Further, at the time that the County first considered Gypsum Canyon, the property was located in unincorporated territory under the jurisdiction of Orange County. Currently, it is within Anaheim's boundaries and has been entitled for substantial development, including residential housing.

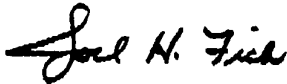
Gypsum Canyon was annexed to the City of Anaheim in May of 1992 and has been approved for development of 7,966 residential units, 179 commercial acres, schools, parks and public infrastructure and facilities as part of the Mountain Park Specific Plan. In addition, a Development Agreement between the City of Anaheim and the property owner (the Irvine Company) was entered into on November 5, 1991, to further vest the project entitlements. Construction of the Eastern Transportation Corridor has commenced in the project vicinity. The alignment of this corridor is shown on the attached Mountain Park Development Plan.

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The area surrounding the Mountain Park Specific Plan area has also experienced a great deal of growth. An overview of the major residential and commercial developments surrounding Mountain Park is attached for your information.

Thank you for the opportunity to comment on the environmental documentation under preparation. The City of Anaheim staff is most interested in any future discussion concerning the subject site. Please contact me if you have any questions about these comments or would like copies of the Mountain Park Specific Plan document. Please forward any subsequent environmental documents and notices to Karen Freeman of my staff at the address listed below.

Sincerely,



Joel H. Fick
Planning Director

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cc: David Morgan, Assistant City Manager
Tom Wood, Deputy City Manager

002161

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ANAHEIM HILL AND CANYON AREA SUMMARY

June 1996

Anaheim's Hill and Canyon Area has experienced a great deal of growth, primarily within the last few years. Moving eastward from the Anaheim Hills Planned Community area, which was constructed primarily in the 1970's and 1980's, are three project areas currently under construction (the Highlands at Anaheim Hills, the Summit of Anaheim Hills and Sycamore Canyon), the Festival of Anaheim Hills commercial project that has one remaining phase to develop, the East Hills Planned Community that is completely constructed, and the Mountain Park and Cypress Canyon projects which have been approved and entitled for development. Following is a brief overview of these major residential and commercial developments:

Anaheim Hills Planned Community

This area, which encompasses approximately 1,818 acres and 5,011 dwelling units, was constructed primarily within the 1970's and 1980's with minor infill development still occurring.

East Hills Planned Community

The 315-acre East Hills Planned Community includes a total of 945 existing residential units (653 single-family attached and detached homes and 292 apartment units), approximately 67 acres of existing commercial retail/office/research and development uses, a fire station, a designated site for a future library facility and a developed park site.

The Anaheim Hills Festival Specific Plan

The 85-acre Festival Specific Plan has been developed with an approximate 596,407 square-foot shopping center with retail businesses, restaurants, a movie theater and service uses. Approximately 240,000 square feet of office/professional uses and a 150-room hotel and two restaurants (one internal to the hotel) remain to be developed.

The Highlands at Anaheim Hills Specific Plan

The 816-acre Highlands at Anaheim Hills, which is being developed by Presley of Southern California, provides for the development of up to 2,168 residential units including 1,010 single-family homes and 1,158 apartments and condominium units, a 5-acre park site, an 8-acre elementary school site and approximately 292 acres of open space. To date, the Building Division has issued building permits for approximately 1,778 units (952 single-family homes and 826 apartments and condominium units).

The Summit of Anaheim Hills Specific Plan

The 591-acre Summit of Anaheim Hills, which is being developed primarily by The Baldwin Company, provides for the development of up to 2,117 residential units, including 1,331 single-family attached and detached homes and 786 condominium units, 5

002165

acres of commercial uses, a 12-acre park site, a 10-acre school site and 169 acres of open space. To date, the Building Division has issued building permits for approximately 1,000 units (650 single-family attached and detached homes and 350 condominium units).

Sycamore Canyon Specific Plan

The 325-acre Sycamore Canyon project is nearly complete with the last single-family tract (24 units) under construction. When completed, Sycamore Canyon will include 1,204 residential units, including 520 single-family homes and 684 apartment and condominium units, 12 acres of commercial uses, a police substation site and 132 acres of open space including two public park sites.

Mountain Park Specific Plan

The 2,339-acre Mountain Park project was approved in 1991 for up to 7,966 residential units, 179 acres of commercial uses, interim sand and gravel mineral extraction, schools, parks and public infrastructure and facilities. The project area was subsequently annexed to the City in May, 1992.

Cypress Canyon Specific Plan

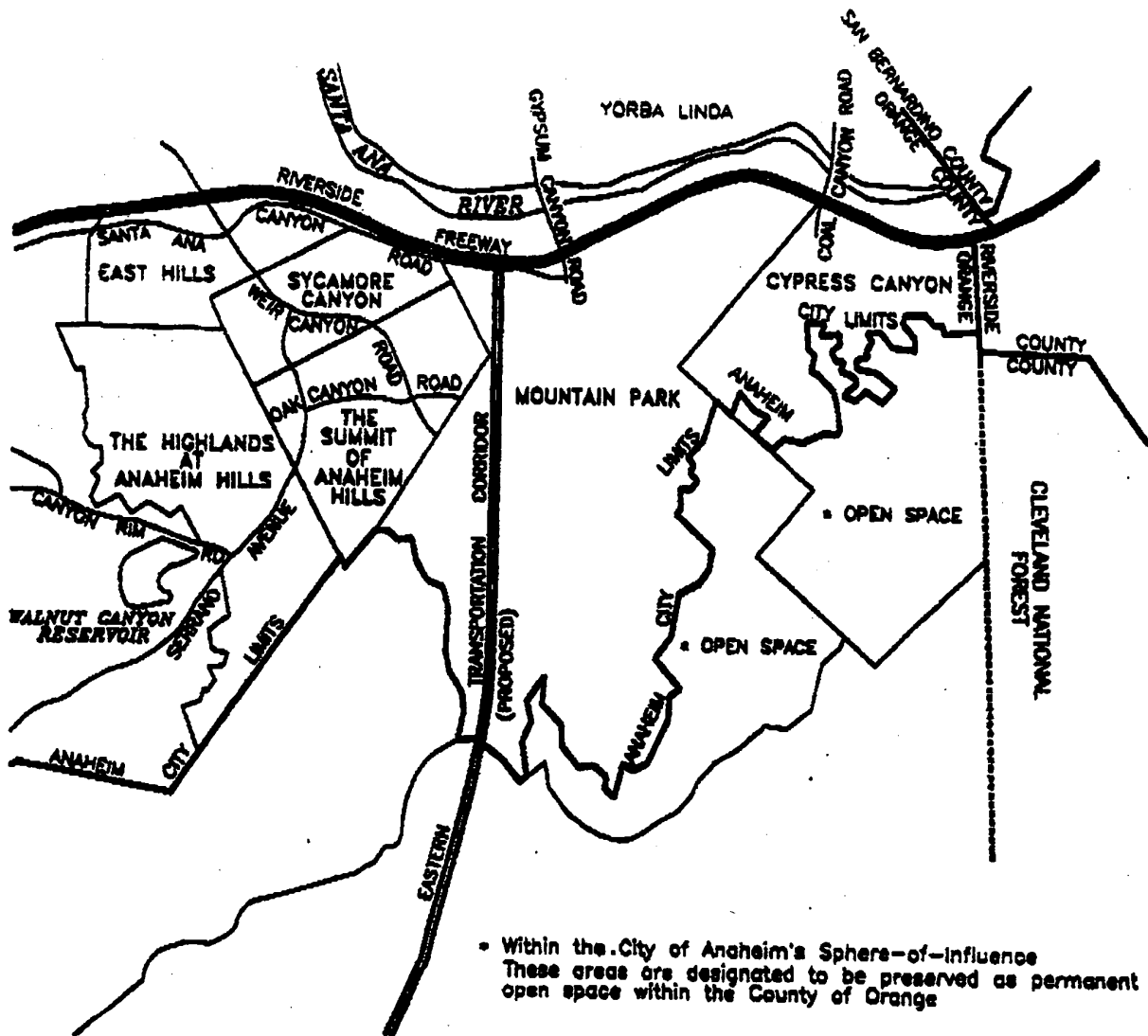
The 697-acre Cypress Canyon project was approved in 1992 for up to 1,550 residential units, 8 acres of commercial uses, an elementary school, a fire station site, an electrical substation site, a neighborhood park and open space. The project area was subsequently annexed to the City in August 1995.

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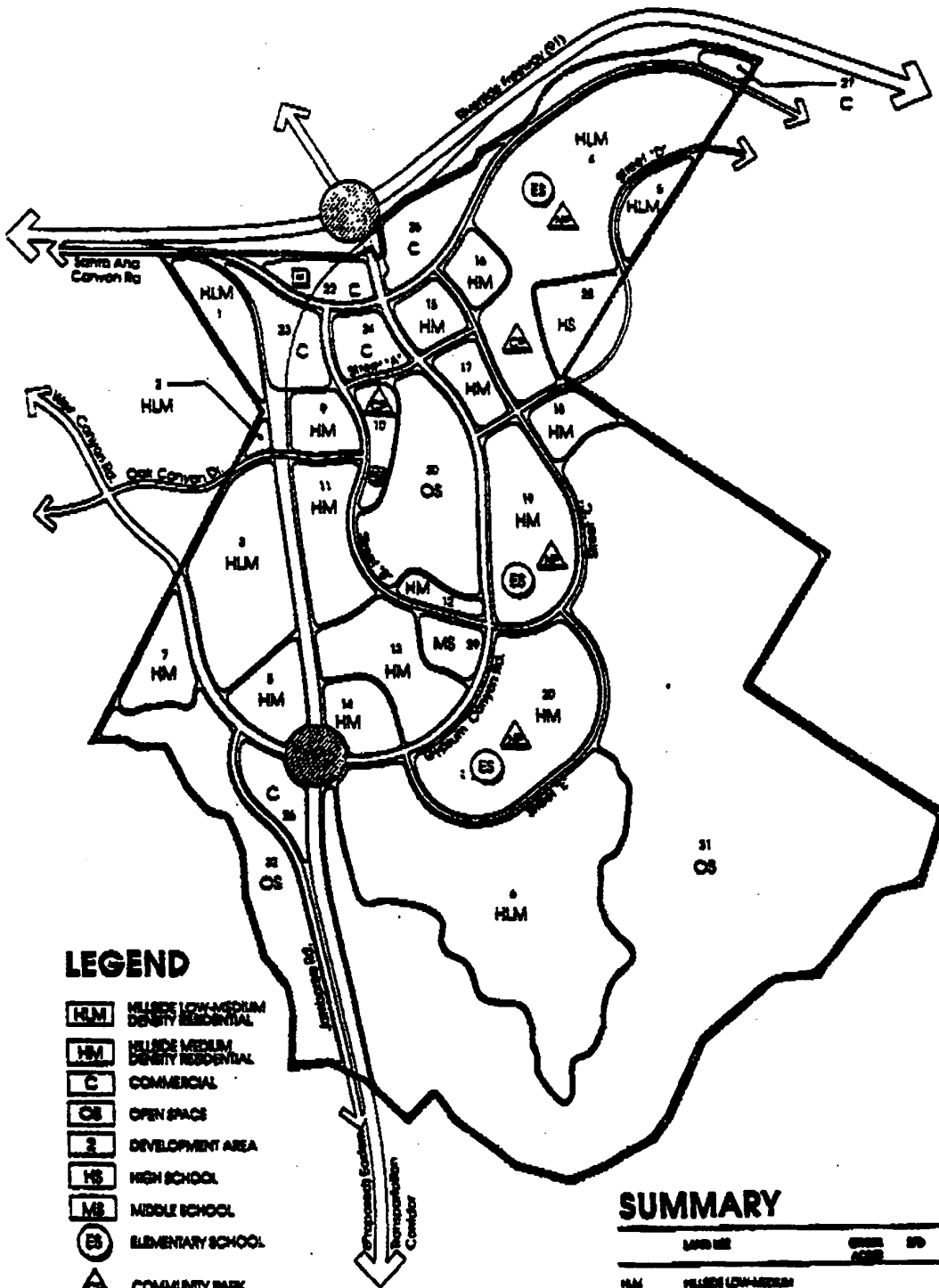
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ANAHEIM HILL AND CANYON AREA



<u>RESIDENTIAL COMMUNITY</u>	<u>ACRES</u>	<u>APPROVED</u>	<u>NO. OF UNITS</u>	<u>ESTIMATED POPULATION</u>
1. The Highlands at Anaheim Hills SP87-1	816	1987	2,168	6,038
2. The Summit of Anaheim Hills SP88-2	591	1988	2,117	5,742
3. Sycamore Canyon SP88-1	325	1988	1,204	3,079
4. Mountain Park SP90-4 (Gypsum Canyon Property)	2,339	1991	7,966	21,260
5. Cypress Canyon SP90-3 (Coal Canyon Property)	697	1992	1,550	4,530

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SUMMARY

	LAND USE	GREEN ACRES	SPD	SPACE	TOTAL SQ
HLM	MIXED LOW-MEDIUM DENSITY RESIDENTIAL (UP TO 6 DW/AC)	404	1,700	913	3,817
HM	MIXED MEDIUM DENSITY RESIDENTIAL (UP TO 16 DW/AC)	206	901	4,404	5,511
C	COMMERCIAL	179			
	SCHOOLS	87			
	NEIGHBORHOOD AND COMMUNITY PARKS	44			
M	CITY MAINTENANCE YARD	5			
OS	OPEN SPACE	1,428			
	ARRIVAL ROADS	110			
	CORRIDOR	82			
GRAND TOTALS		5,129	2,601	6,387	7,328

DEVELOPMENT PLAN

002163

Table 1
DEVELOPMENT PLAN STATISTICAL SUMMARY

General Plan Land Use Designation	Dev. Area	Gross AC	STD	SFA/MT	Total DU	Approx. Density
Hillside Low-Medium Density/Residential (Up to 6 DU/AC)	1 2 3 4 5 6	25 5 108 198 25 <u>322</u>	90 25 278 543 0 <u>772</u>	0 0 338 358 81 <u>216</u>	90 25 636 801 81 <u>982</u>	3.6 5.0 5.9 4.0 3.3 3.1
Sub-Total		694	1,708	918	2,621	
Hillside Medium Density/Residential (Up to 18 DU/AC)	7 8 9 11 12 13 14 15 16 17 18 19 20	36 37 26 59 14 73 26 24 23 28 24 80 <u>122</u>	0 0 0 0 0 184 0 0 0 0 0 281 <u>406</u>	211 280 284 621 224 434 375 380 360 360 248 389 <u>208</u>	211 360 284 621 224 568 375 380 360 360 248 540 <u>714</u>	5.8 9.7 10.9 10.5 18.0 7.3 10.7 15.2 15.7 14.4 10.3 6.8 5.5
Sub-total		525	921	4,424	5,345	
General Commercial	22 23 24 25 26 27	22 43 27 46 22 <u>2</u>				
Sub-Total		170				
High School	28	23 **				
Middle School	29	30 **				
Elementary Schools		20 **				
Sub-Total		53				
Neighborhood and Community Parks		44 **				
Open Space		1,438				
Sub-Total		1,472				
City Maintenance Yard		8				
Arterial/Roads		110				
Eastern Transportation Corridor		52				
GRAND TOTAL		3,179	2,629	5,337	7,968	

* Elementary school and neighborhood park acreages are excluded.

** School and park acreages are intended to meet the established requirements of the responsible agencies.

RECEIVED
JUL 12 1996
EMA



"Preparing today's students to
succeed in tomorrow's world."

July 8, 1996

Paul Lanning
EMA/Environmental & Project Planning Division
300 N. Flower Street, Room 321
Santa Ana, CA 92702

Re: EIR #564, Expansion of Existing Jail Facility

Dear Mr. Lanning:

This letter is in response to the "Notice of Scoping Meeting" for the above referenced EIR to be held July 8, 1996.

Please be advised that the Saddleback Valley Unified School District reserves the right to submit comments regarding the service availability/capacity information request as part of the EIR process, and will respond in writing prior to July 24, 1996.

Thank you very much.

Sincerely,

Robert J. Cornelius
Assistant Superintendent,
Business

MLS:dar

**SADDLEBACK VALLEY
UNIFIED SCHOOL DISTRICT**

25631 DISEÑO DRIVE
MISSION VIEJO, CALIFORNIA 92691
(714) 586-1234

SUPERINTENDENT
Dr. Peter A. Hartman

BOARD OF EDUCATION
Dore J. Gilbert, M.D., President
Marcia L. Birch, Vice President
Frank L. Ury, Clerk
Bobbee Cline, Member
Linhia Hughes, Member

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